

ABBREVIATIONS

@	AT	FP	FIREPROOF	PTD	FIELD PAINTED
Ø	DIAMETER OR ROUND POUND OR NUMBER	FPBH	FROST PROOF HOSE BIB	PTN	PARTITION
AB	ANCHOR BOLT	FRM	FIBERGLASS REINFORCED	QTR	QUARTER
ABE	AVERAGE BUILDING ELEVATION	FRDT	FIRE RETARDANT	QTY	QUANTITY
ABV	ABOVE	FRZR	FREEZER	R	RISER/RADIUS/RESISTANCE
ACT	ACOUSTIC TILE	FS	FULL SIZE	RB	RUBBER RAISE
ACWJ	ALUMINUM-CLAD WOOD	FSD	FIRE SEPARATION DISTANCE	RD	ROOF DRAIN
AD	AREA DRAIN	FT	FOOT OR FEET	REC	RECEIVE
ADJ	ADJUSTABLE, ADJACENT	FTG	FOOTING	REF	REFERENCE
AFF	ABOVE FINISH FLOOR	GA	GAUGE	REFR	REFRIGERATOR
AHJ	AUTHORITY HAVING JURISDICTION	GAL	GALLON	REINF	REINFORCED
AHU	AIR HANDLING UNIT	GALV	GALVANIZED	REQD	REQUIRED
ALT	ALTERNATE	GEN	GENERAL	RET	RETURN
ALUMAL	ALUMINUM	GFI	GROUND FAULT INTERRUPTER	REV	REVERSE/REVISED/REVISION
AP	ACCESS PANEL	GFRC	GLASS FIBER REINFORCED CONCRETE	RF	ROOF
APPD	APPROVED	GL	GLASS	RFG	ROOFING
APPROX	APPROXIMATE	GND	GROUND	RH	RIGHT HAND
ARCH	ARCHITECTURAL	GOVT	GOVERNMENT	RIGID	RIGID INSULATION
ASF	ABOVE SUBFLOOR	GR	GRADE	RL	RAIN LEADER (INTERIOR)
AVG	AVERAGE	GR	GRADE	RM	ROOM
BAL	BALANCING	GSM	GALVANIZED SHEET METAL	RND	ROUND
BD	BOARD	GWB	GYPSUM WALL BOARD	RIO	RANGE/OVEN
BE	BATH FAN EXHAUST	GYP	GYPSUM	RO	ROUGH OPENING
BEL	BELOW	HB	HOSE BIB	RUB	RUBBER
BEY	BEYOND	HC	HANDICAP/HOLLOW CORE	RWL	RAINWATER LEADER (INDOORS)
BLDG	BUILDING	HD	HEADLINE/DUTY	S	SOUTH
BLK	BLOCK, BLOCKING	HDWD	HARDWOOD	SALV	SALVAGE (D)
BM	BENCH MARK	HDR	HEADER	SAM	SELF-ADHESIVE MEMBRANE
BO	BOTTOM OF	HE	HOOD FAN EXHAUST	SBC	IBC w/ SEATTLE AMENDMENTS
BOT	BOTTOM	HM	HOLLOW METAL	SC	SOLID CORE
BRK MTL	BRAKE METAL	HGL	HOLLOW	SCHED	SCHEDULE
BTWN	BETWEEN	HOR/	HORIZONTAL	SD	SMOKE DETECTOR
C to C	CENTER TO CENTER	HORIZ	HORIZONTAL	SECT	SECTION
CAB	CABINET	HP	HIGH POINT	SF	SQUARE FEET
CAP	CAPACITY	HR	HOUR	SH	SHELF
CG	CORNER GUARD	HT	HEIGHT	SHT	SHIT
CHT	CHANGING TABLE	HW	HOT WATER HEATER	SHTG	SHEATHING
CIP	CAST-IN-PLACE	IBC	INTERNATIONAL BUILDING CODE	SID	SIDING
CJ	CONTROL JOINT	ID	INSIDE DIAMETER	SIM	SIMILAR
CL	CENTERLINE	IN	INCHES	SL	SLOPE
CLG	CEILING	INCL	INCLUDE (D) (ING)	SLNT	SEALANT
CLKG	CAULKING	INCR	INCREASE	SPEC	SPECIFICATIONS
CLO	CLOSET	INCR	INCREASE	SPRT	SPORT FLOORING (RUBBER)
CLR	CLEAR	INSUL	INSULATION	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SST	STAINLESS STEEL
COL	COLUMN	INTM	INTERMEDIATE	STC	SOUND TRANSMISSION CLASS
CONC	CONCRETE	INTUM	INTUMESCENT	STD	STANDARD/STUD
COND	CONDITION	INV	INVERT	STIFF	STIFFENER
CONN	CONNECTION	JST	JOIST	STL	STEEL
CONSTR	CONSTRUCTION	JT	JOINT	STOR	STORAGE
CONTR	CONTRACTOR	L	LONGLENGTH	STFRNT	STOREFRONT
CORR	CORRIDOR/CORRUGATED	LAM	LAMINATE	STRUCT	STRUCTURAL
CPT	CARPET	LAV	LAVATORY	SUB	SUBSTITUTE
CT	CERAMIC TILE	LE	LAUNDRY FAN EXHAUST	SUSP	SUSPENDED
CTR	CENTER	LH	LEFT HAND	SYM	SYMMETRICAL
CUST	CUSTOM	LIN	LINEAR/LINEAL	SYS	SYSTEM
CWP	CLEAR WALL PANEL	LOCN	LOCATION	T	TOP/TREAD/TOILET/TEMPERED
D	DEEP (DIM)/DRYER	LP	LOW POINT	T & G	TONGUE&GROOVE
DE	DRYER EXHAUST	LT	LIGHT	T-STAT	THERMOSTAT
DEPT	DEPARTMENT	LTG	LIGHTING	TC	TOP OF CURB
DET/DTL	DETAIL	LVL	LEVEL	TD	TRENCH DRAIN
DF	DRINKING FOUNTAIN	MATL	MATERIAL	TEL	TELEPHONE
DIA	DIAMETER	MAX	MAXIMUM	TEMP	TEMPORARY/TEMPERATURE/TEMPERED
DIAG	DIAGONAL	MC	MEDICINE CABINET	THK	THICKNESS
DICA	DRILLED-IN CONC ANCHOR	MDF	MEDIUM DENSITY FIBERBOARD	THRU	THROUGH
DIM	DIMENSION	MECH	MECHANICAL	TO	TOP OF
DIR	DIRECTION	MEMB	MEMBRANE	TOC	TOP OF CONCRETE
DIV	DIVISION	MFR	MANUFACTURER	TOF	TOP OF CURB
DN	DOWN	MN	MINIMUM	TOIL	TOILET
DP	DAMP/PROOFING	MISC	MISCELLANEOUS	TOP	TOPPING/TOP OF PLATE
DO	DITTO	MLDG	MOLDING	TOP	TOP OF PARAPET
DOM	DOMESTIC	MO	MASONRY OPENING	TOSF	TOP OF SUBFLOOR
DR	DOOR	MTD	MOUNTED	TOW	TOP OF WALL
DS	DOWNSPOUT (EXTERIOR)	MTL	METAL	TP	TOP OF PAVEMENT
DW	DISHWASHER	MET/MTL	METAL	TRNSL	TRANSLUCENT
DWG	DRAWING	N	NORTH	TRTD	TREATED
(E)	EXISTING	(N)	NEW	TV	TELEVISION
EA	EACH	NEG	NEGATIVE	TWP	TRANSLUCENT WALL PANEL
EL	ELEVATION	NIC	NOT IN CONTRACT	TYP	TYPICAL
ELEV	ELEVATOR	NO or #	NUMBER	UL	UNDERWRITERS' LABORATORY
ELEC	ELECTRICAL	NOM	NOMINAL	UNFIN	UNFINISHED
EMER	EMERGENCY	NTS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
EMR	ELEVATOR MACHINE ROOM	OA	OVERALL	VAP	VAPOR BARRIER
EQ	EQUAL	OC	ON CENTER	VAR	VARIES/VARIABLE
EQJ	EARTHQUAKE JOINT	OD	OUTSIDE DIAMETER	VB	VINYL BASE
EQPT	EQUIPMENT	OFD	OVERFLOW DRAIN	VCT	VINYL COMPOSITION TILE
EPL	EMERGENCY PATHWAY LIGHTING	OH	OPPOSITE HAND/OVERHEAD	VENT	VENTILATION
EST	ESTIMATE; ESTIMATED	OHW	ORDINARY HIGH WATER	VERT	VERTICAL
EW	EACH WAY	OPNG	OPENING	VEST	VESTIBULE
EXC	EXCAVATED	OPP	OPPOSITE	VFY	VERIFY
EXH	EXHAUST	OVHD	OVERHEAD	VIF	VERIFY IN FIELD
EXIST	EXISTING	OWSJ	OPEN-WEB STEEL JOIST	VOC	VERTICAL GRAIN
EXP	EXPANDED	OZ	OUNCE	VGC	VOLATILE ORGANIC COMPOUNDS
EXPAN	EXPANSION	(P)	PROPOSED	VOL	VOLUME
EXT	EXTERIOR	PAR	PARALLEL	VS	VINYL SHEET/SHEET VINYL
FAB	FABRICATED	PART	PARTITION	VTR	VENT THROUGH ROOF
FB	FLASH BEAM	PC	PRECAST	W	WEST/WIDE/WASHER
FD	FLOOR DRAIN	PERF	PERFORATED	W/	WITH
FE	FIRE EXTINGUISHER	PERP	PERPENDICULAR	WO	WITHOUT
FF	FINISH FLOOR/FACTORY FINISHED	PKG	PARKING	WAIN	WAINSCOT
FG	FINISH GRADE	PL	PLATE/PROPERTY LINE/PLASTIC	WC	WATER CLOSET
FS	FACTORY PRIME PAINTED	PLAM	PLASTIC LAMINATE	WD	WOOD
FED	FEDERAL SPECIFICATION	PLYWD/PLY	PLYWOOD	WDW	WINDOW
FEC	FE CABINET	PNT	PAINT(ED)	WSEC	WASH. STATE ENERGY CODE
FIN	FINISH(ED)	PNL	PANEL	WGL	WIRE GLASS
FLASH	FLASHING	POL	POLISH/POLISHED	WH	WALL HUNG
FLEX	FLEXIBLE	PPL	POLISHED PLATE	WIND	WINDOW
FLR	FLOOR	PPR	PREFABRICATE(D)	WP	WATER-PROOFING MEMBRANE
FOC	FACE OF CONCRETE	PR	PRELIMINARY	WR	WATER REPELLENT
FOE	FACE OF FINISH	PRELIM	PRELIMINARY	WRB	WEATHER RESISTANT BARRIER
FOI	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	PROJ	PROJECT/PROJECTION	WS	WEATHERSTRIP
FOM	FACE OF MASONRY	PROP	PROPERTY	WT	WEIGHT
FOS	FACE OF STUD	PSI	POUNDS PER SQUARE INCH	WWM	WELDED WIRE MESH
		PT	POINT/POINT OF TANGENCY	YD	YARD DRAIN
			PRESSURE TREATED		

GRAPHIC SYMBOLS

	DETAIL INDICATOR DETAIL NUMBER SHEET NUMBER
	ELEVATION INDICATOR DETAIL NUMBER SHEET NUMBER
	RM ELEVATION INDICATOR DETAIL NUMBER SHEET NUMBER ELEVATION
	LAYOUT GRID
	PARTITION TYPE INDICATOR SEE PARTITION SCHEDULE FOR EXPLANATION
	SPOT ELEVATION
	BUILDING SECTION DETAIL NUMBER SHEET NUMBER
	WALL SECTION DETAIL NUMBER SHEET NUMBER
	FIRE EXTINGUISHER ON WALL HOOK
	FIRE EXTINGUISHER CABINET SURFACE AND RECESSED
	EXIT SIGNS (OVERHEAD) BLACK QUADRANTS INDICATE LIGHTED SIDES ARROWS SHOW DIRECTION ARROWS
	EXIT SIGNS (WALL MTD) BLACK QUADRANTS INDICATE LIGHTED SIDES ARROWS SHOW DIRECTION ARROWS
	WINDOW NUMBER
	LOUVER NUMBER
	FRAMED WALL (PLAN) FRAMED WALL OR FLOOR (SECTION)
	CMU WALL (PLAN & SECTION)
	BRICK WALL (PLAN & SECTION)
	CONC WALL (PLAN) CONC WALL OR FLOOR (SECTION)
	CONCRETE (DETAILS)
	GWB (DETAILS)
	BATT INSULATION (DETAILS)
	RIGID INSULATION (DETAILS)
	CENTERLINE
	GRID LINE
	PROPERTY LINE
	CONCEALED LINE
	OVERHEAD LINE

PROJECT ZONING DATA

PROJECT LOCATION:
901 E. ROANOKE ST., SEATTLE, WA 98102

LEGAL DESCRIPTION:
LOT 1 AND THAT PORTION OF LOT 2 LYING NORTHERLY OF A LINE EXTENDING FROM THE SOUTHWEST CORNER OF SAID LOT TO A POINT IN THE EASTERLY LINE OF SAID LOT WHICH IS 2 FEET SOUTH OF THE NORTHEAST CORNER THEREOF; ALL IN BLOCK 3 OF MILLER'S SECOND ADDITION TO SEATTLE AS PER PLAT RECORDED IN VOLUME 10 OF PLATS, PAGE 70, RECORDS OF KING COUNTY, TOGETHER WITH THAT PORTION OF THE EAST HALF OF BROADWAY AVENUE EAST, ACQUIRED BY OPERATION OF LAW, ADJACENT TO SAID LOTS ON THE WEST.

KING COUNTY ASSESSOR'S PARCEL NUMBER:
5535100285

ZONING DESIGNATION:
SF 5000

DPD PROJECT #:
3077619 (LAND USE)
64217082 (DPD)

PROJECT DESCRIPTION:
TO DEMOLISH AN EXISTING 1-STORY (+ BASEMENT) FIRE STATION AND REPLACE WITH A 2-STORY (+ BASEMENT) FIRE STATION. STATION WILL BE A NEIGHBORHOOD-1 STATION WITH 4-FULL TIME EMPLOYEES. PROPOSED USES ARE NOTED ON FLOOR PLANS A100-A102.

DIRECTORY

OWNER:
CITY OF SEATTLE
DEPT. OF FINANCE & ADMINISTRATIVE SERVICES
CAPITAL DEVELOPMENT & CONSTRUCTION MANAGEMENT
700 5TH AVENUE, SUITE 5200
SEATTLE, WA 98104
T 206.398.4572
F 206.684.0525
DAVID JACKSON
David.Jackson@seattle.gov

ARCHITECT (PRIMARY CONTACT):
WEINSTEIN A+U
121 STEWART STREET, SUITE 200
SEATTLE, WA 98101
T 206.443.8606
F 206.443.1218
KRISTEN WILL & LAUREN ROCK
Kristenw@weinsteinau.com

STRUCTURAL ENGINEER:
SWENSON S&F FACET
2124 THIRD AVENUE, SUITE 100
SEATTLE, WA 98121
T 206.956.3745
DAN MORROW

MECHANICAL/PLUMBING ENGINEER:
THE GREENBUSCH GROUP INC.
1900 W NICKERSON ST. SUITE 201
SEATTLE, WA 98119
T 206.378.0569
JOHN GREENLAW & JACK BURGESS

ELECTRICAL ENGINEER:
SPARLING
4100 104TH STREET SW
LYNNWOOD, WA 98036
T 206.667.0555
JOE VORNIG & JOSEPH POWER

DRAWING INDEX

GENERAL:
G001 COVER SHEET
G100 LAND USE/ZONING CODE SUMMARY
SURVEY

CIVIL:
C1.0 C&S & SITE DEMOLITION
C2.0 GRADING, DRAINAGE, UTILITIES & PAVING

LANDSCAPE ARCHITECT:
MURASE ASSOCIATES,
200 E. BOSTON STREET
SEATTLE, WA 98102
T 206.322.4937
MARK TILBE

HAZMAT:
EHS-INTERNATIONAL, INC.
13228 NE 20TH STREET, SUITE 100
BELLEVUE, WA 98005
F 425.455.2959
F 425.646.7247
HERB BROD

LIGHTING DESIGN:
TO DEMOLISH AN EXISTING 1-STORY (+ BASEMENT) FIRE STATION AND REPLACE WITH A 2-STORY (+ BASEMENT) FIRE STATION. STATION WILL BE A NEIGHBORHOOD-1 STATION WITH 4-FULL TIME EMPLOYEES. PROPOSED USES ARE NOTED ON FLOOR PLANS A100-A102.

COMMISSIONING ENGINEERING ECONOMICS, INC.
400 112TH AVE NE, SUITE 400
BELLEVUE, WA 98101
T 206.622.1001
LORAN VAHLING

VICINITY MAP



CITY OF SEATTLE

Rev Date Issued

Fire Station 22
Master Use Permit Submittal

901 E. Roanoke St.
Seattle, WA

Project No. 13004

Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206.443.8606
F 206.443.1218
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

3300 REGISTERED ARCHITECT
Edward Weinstein
EDWARD WEINSTEIN
State of Washington

Issue MUP

Date 12/12/2014

Sheet Title COVER SHEET

Sheet G001

SEATTLE FIRE STATION 22



MASTER USE PERMIT SUBMITTAL
DECEMBER 12, 2014

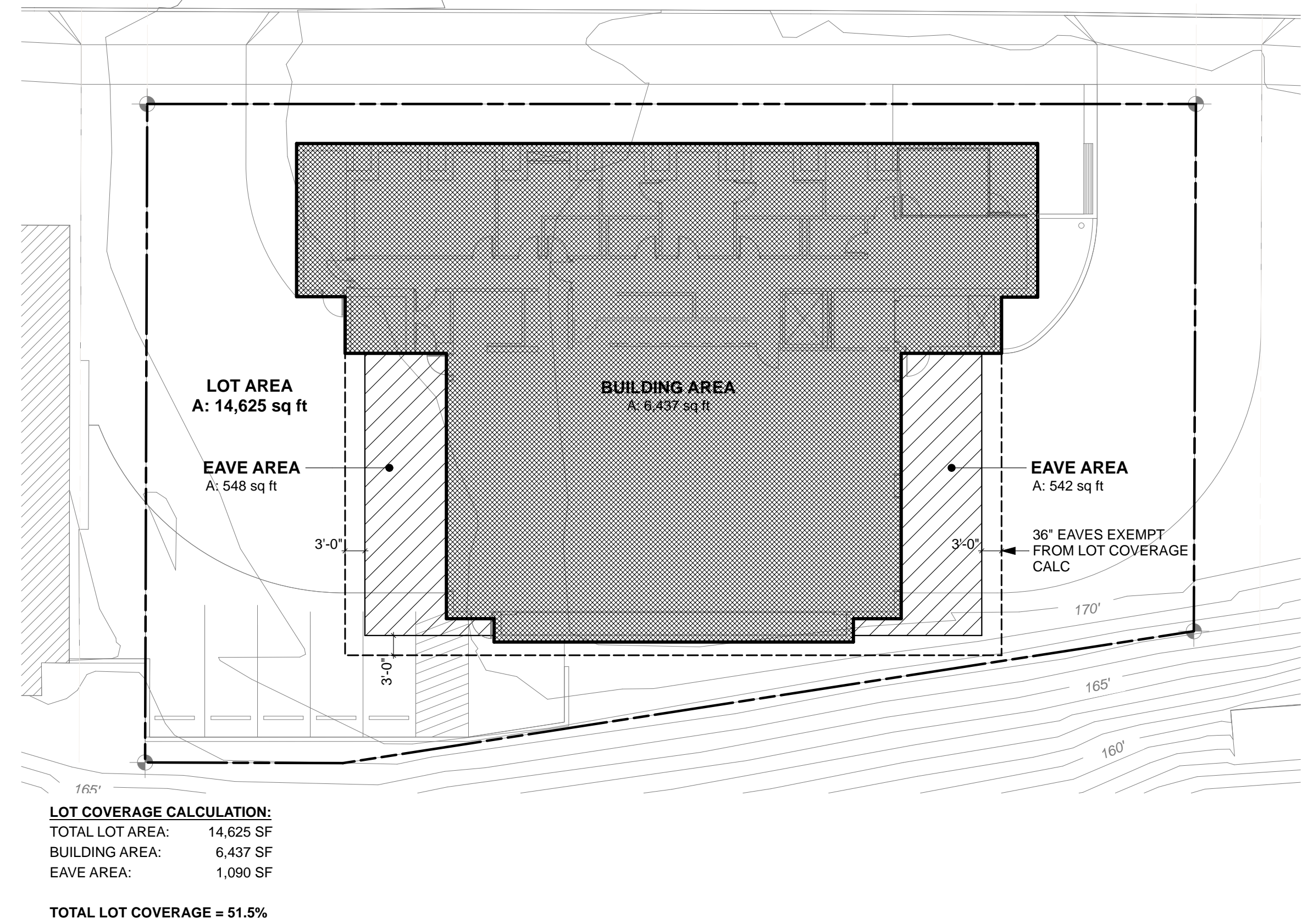
LAND USE/ ZONING CODE SUMMARY

CODE SECTION	STANDARD	COMMENT
Seattle Municipal Code DPD Land Use Project # Address (Seattle Zoning Map 119) Parcel # Zone Street Designations Lot Area	Title 23 – Land Use Code Title 25 – Environmental Protection & Historic Preservation 3017619 901 E. Roanoke Street 5535100285 SF 5000 (Single Family Residential) E. Roanoke Street – minor arterial 14,625 SF per survey (11,099 SF per King County TA)	
Permitted Uses (23.44.036)	A Fire Station is a Public Facility and may be permitted according to the provisions of 23.51A.002 and the provisions of 23.76, Subchapter III (23.51.002 B). The public facility use shall be developed according to the development standards for institutions (Section 23.44.022) unless the City Council makes a determination to waive or modify applicable development standards according to the provisions of Chapter 23.76, Subchapter III, Council Land Use Decisions, with public projects considered as Type IV quasi-judicial decisions and City facilities considered as Type V legislative decisions.	This project considered a 'City Facility', Type V legislative decision.
Lot requirements (23.44.010A & D)	Min 5,000 SF, 35% lot coverage	Will exceed 35% lot coverage. Process to resolve: Development Waiver .
Building Height (23.44.012)	30' permitted for any structure not located in a required yard Per 23.44.012 B Pitched Roofs. The ridge of a pitched roof (NOT less than 4:12) may extend up to 5' above the otherwise applicable height limit. Per 23.44.012 D Rooftop Features. 1. (Smokestacks, chimneys, flagpoles, ...) are exempt from height controls, provided they are no closer to an adjoining lot line than 50% of the height above existing grade 2. Open railings and planters may extend no higher than the ridge of a pitched roof permitted or 4' above maximum height limit. 3. Solar Collectors may extend up to 4' above the otherwise applicable height limit. 4. Rooftop features such as stair & elevator penthouses, mechanical equipment may extend up to 10' above the maximum height limit, so long as the combined total coverage does not exceed 15 percent of the roof area.	Height limit exception for portion of building and flagpole in front yard setback and for hose tower should be requested as Development Waivers
Height Limit/Façade Scale (Institution) (23.44.022K45)	Height exceptions only apply to religious symbol or gymnasiums. Note: '5. Façade Scale. If any façade of a new or expanding institution exceeds 30' in length, the Director may require that facades adjacent to the street or a residentially zoned lot be developed with design features intended to minimize the appearance of bulk. Design features which may be required include, but are not limited to, modulation, architectural features, landscaping or increased yards.'	Façade length will exceed 30'
Yards (23.44.014)	Front Yard – depth shall be the average of the front yards of the single-family structures on either side or 20', whichever is less Rear Yard – 23.86.010 C.3 specifies rear yard measurement when the rear yard is not essentially parallel to the front yard Side Yard – shall be 5' except in the case of a reversed corner lot... Institutional side yard required is 10'-0" per 23.44.022 K.2. If the Director finds that a reduced setback will not significantly project impacts, including but not limited to noise, odor, and the scale of the structure in relation to nearby buildings, the sideyard setback may be reduced to 5'. Cisterns: Rain barrels and cisterns may extend into a required yard according to the following: a. Stand alone cisterns or connected systems shall be allowed without setback restrictions if each cistern is less than 4.5 feet tall excluding piping, less than 4 feet wide, and the system's total storage capacity is no greater than 600 gallons. b. Larger cisterns or systems may be permitted in required yards provided that they do not exceed ten percent coverage in any required yard, and they are not located closer than 2.5 feet from a side lot line, 20 feet from a rear lot line or centerline of an alley abutting the rear lot line, or 15 feet from the front lot line	We will need to depart from our front yard setback, and possibly our rear-yard setback (due to emergency generator). Process to resolve: Development Waiver
Parking (Residential, Single Family) (23.44.016)	Access to parking is permitted from a street if there is no alley Parking shall not be located in the required front or side yard except as provided in subsection 23.44.016.D.7 "if access to required parking passes through a required yard, automobiles, motorcycles and similar vehicles may be parked on the open access located in a required yard."	Parking located in required side yard: OK, as drive runs along property line.
Part 1 Administrative Conditional Uses Parking (Institutions) (23.44.022L1c)	The Director may modify the parking and loading requirements of Section 23.54.015 and the requirements of Section 23.44.016 on a case-by-case basis using information contained in the transportation plan prepared pursuant to subsection 23.44.022 M.	
Transportation Plan (Institutions) (23.44.022M)	A transportation plan shall be required for proposed new institutions and for those institutions proposing expansions which are larger than 4,000 SF of structure area and/or are required to provide an additional 20 or more parking spaces. The Director shall determine the level of detail to be disclosed in the transportation plan based on the possible impacts and/or scale of the proposed institution.	
Parking (Required Parking) (23.54.015)	No category for fire stations	4 stalls required per Lindsay King 6/10/14 6 stalls min. requested per SFD Program 5 stalls provided (see below)
Parking Space Standards (23.54.030)	Large vehicle: (min) 8' 1/2" x 19' Medium vehicle: (min) 8' x 16' Small vehicle: (min) 7' 1/2" x 15' Barrier-free parking: 8' wide (min.) x 19' long (min.) parking space with adjacent 5' wide (min.) access aisle. Van-accessible parking space shall have an 8' wide (min.) access aisle. If a parking space is next to a property line, the minimum width of the space shall be 9'. For residential uses (23.54.030.B.1): When five or fewer parking spaces are provided, the minimum required size of a parking space shall be for a medium car, as described in subsection A.2 of this Section 23.54.030 (8' x 16'), except as provided in subsection 23.54.030.B.1.d. (Townhouse units, N/A)	9' provided at west side where pkg is adjacent to State Patrol Allotment per residential standards, per Lindsay King 6/10/14. Provided: 3 Medium spaces 1 Large space 1 Barrier-free Van parking space 1 Barrier-free van parking space required
Van Spaces SBC 1106.5	For every six or fraction of six accessible parking spaces, at least one shall be a van-accessible parking space. (1 accessible space required per SBC 1106.1)	
Backing Distances	Ingress to and egress from all parking spaces shall be provided without requiring backing more than 50' (23.54.030 C2)	
Driveways	The minimum width of driveways for 2-way traffic shall be min. 22' and max. 25'. Driveway turning path radius shall comply with Exhibit 23.54.030 B. Max. grade curvature for all driveways shall not exceed the curvatures shown in Exhibit 23.54.030 C. Driveway slope shall not exceed a slope of 20 percent except as provided in subsection to 23.54.030 D2b4.	
Parking Aisles	Parking aisles Minimum aisle width shall be provided for the largest vehicles served by the aisle Turning and maneuvering areas shall be located on private property (alleys may be credited as aisle space)	24' minimum width per Exhibit 23.54.030 D (90 degree parking)
Curb Cut Widths	Curb cut widths For fire and police stations, the Director may allow curb cuts up to and no wider than the minimum width necessary to provide access for official emergency vehicles. Curb cuts for fire and police stations are considered curb cuts for 2-way traffic. (23.54.030 F2b(4))	Proposed curb cut width is 25'-0" based on turning radius studies. This is considered the minimum width necessary to provide access and egress for the various emergency vehicles which may be used at this station.
Sight Triangle	Sight triangle (driveway or easement at least 22' wide) A sight triangle on the side of a driveway used as an exit shall be provided and shall be kept clear for a distance of 10' from the intersection of the driveway or easement with a driveway, easement or sidewalk. See Exhibit 23.54.030 E.	Note: curb cuts will be considered 2-way per 23.54.030 F2b(4) above, although both sides of front apron curb cut will be used for egress, and therefore both sides should include a sight triangle – this may be an issue.
Loading berth requirements and space standards (23.54.035) (see also 23.47A.011)	'Loading berth' means an off-street space for the temporary parking of a vehicle while loading or unloading merchandise or materials and that abuts on a street, alley or easement. (23.54.035 Definition) For uses with less than 16,000 sf of gross floor area which provide a loading space on a street or alley, the loading berth requirements may be waived by the Director following a review by the SDOT which finds that the street or alley berth is adequate. Use is estimated to be low demand at this time, with a minimum of 35' length, unless length is reduced down to minimum of 25' length by the Director after consulting with the property owner. (23.54.035 C2c)	Program is less than 16,000 sf. Not enough space for loading on site. No Loading Berth required per Lindsay King 6/10/14. Low Intensity Use, 40,000 sf threshold.

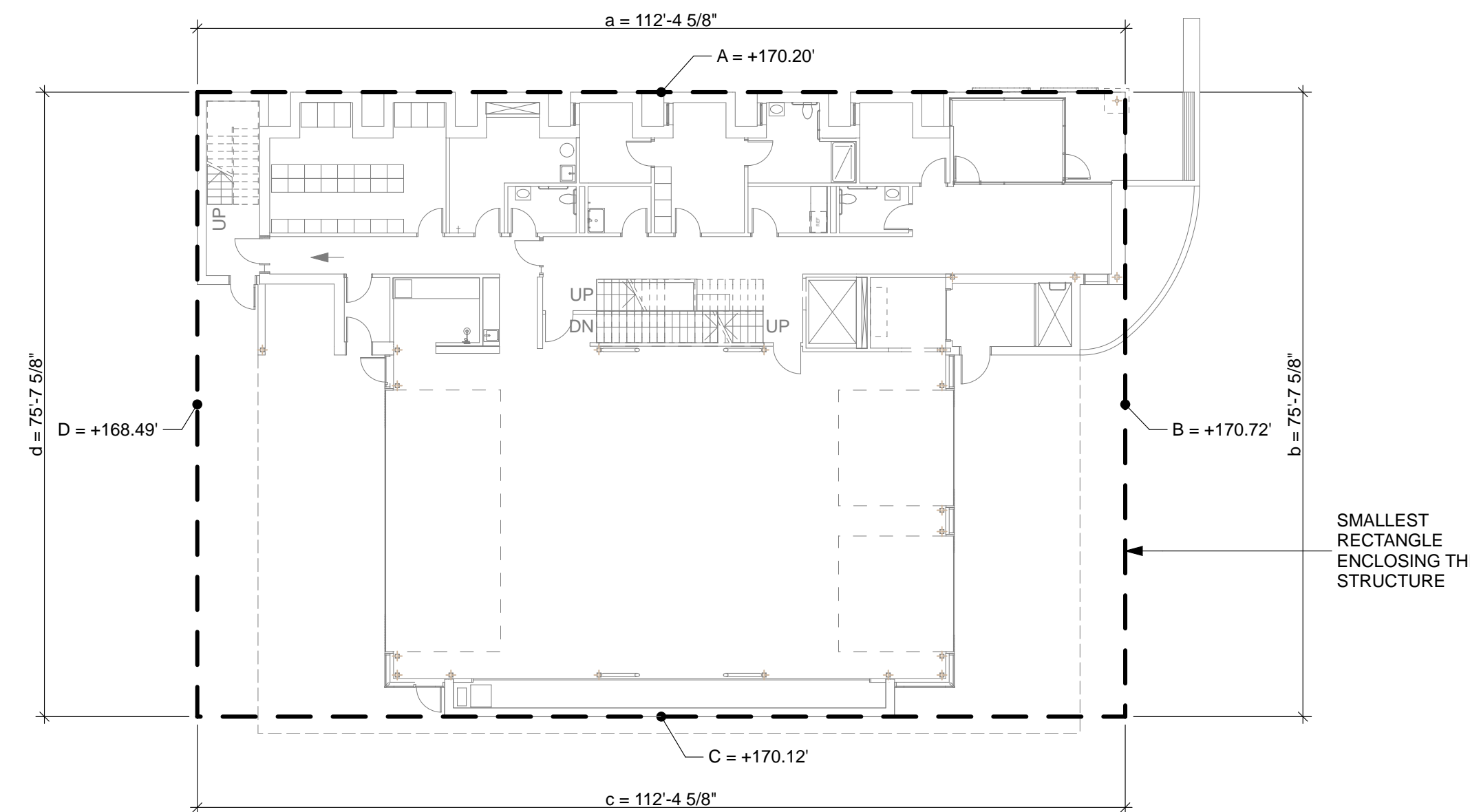
CODE SECTION	STANDARD	COMMENT
Solid waste & recyclable materials storage & access (23.54.040)	Non-residential development shall meet the requirements in Table A: Residential Dev. Min Area 84 sf 2-8 dwelling units Non-residential Min Area 5,001 – 15,000 sf 125 sf Mixed use development shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50 percent of the requirement for non-residential development = 147 sf. D. 1 For developments with 8 or fewer dwelling units, the minimum horizontal dimension (width and depth) for required storage space is 7 feet.	Proposed 72 sf area for solid waste and recyclable storage, under review by Liz Kain. Container sizes proposed: (2) 96 gallon carts for garbage (2) 96 gallon carts for recycling (1) 96 gallon cart for compost Development Waiver may be required.
Exterior sound levels (25.08.410)	The exterior sound level limits are based on the Leq during the measurement interval. Residential (sound source) – residential (receiving property) 55 dBA Residential (sound source) – commercial (receiving property) 57 dBA	Per David George on 12/9/14, "receiving property" is considered the neighboring property lines, even if property lines are across the street from sound source.
Definitions (25.11.020)	"exceptional tree" means a tree that because of its unique historical, ecological, or aesthetic value constitutes an important community resource, and is designated as such by the Director according to standards and procedures promulgated by the Department of Design, construction and Land Use	
Restrictions on tree removal (25.11.040)	A. Tree removal or topping is prohibited in the following cases, except as provided in Section 25.11.030, or where tree removal is required for the construction of a new structure... 1. all trees 6" or greater in diameter, measured 4.5 feet above the ground, on undeveloped lots (NA) 2. Exceptional trees on undeveloped lots; and (NA) 3. exceptional trees on lots...5,000 sf or greater in a SF lot. B. Limits on Tree Removal. In addition to the prohibitions in subsection 25.11.040.A, no more than three trees 6 inches or greater in diameter, measured 4.5 feet above the ground, may be removed in any one year period... on lots 5,000 square feet or greater in a Single-family... zone, except when the tree removal is required for the construction of a new structure, retaining wall, rocky or other similar improvement that is approved as part of an issued building or grading permit as provided in Sections 25.11.060 A1 The director may permit the (exceptional) tree to be removed only if: a. the max lot coverage on the site according to SMC title 23 cannot be achieved without extending into the tree protection area or into the required front and/or rear yard to an extent greater than provided for in subsection A2 of this Section B1 Trees over 2' in diameter measured 4 1/2' above the ground shall be identified on site plans	Applies, see SMC 25.11.060 A/B below Site plan showing tree removal required for construction will be required as part of MUP/SEPA submittal per Lindsay King, 6/10/14 Only "exceptional tree" known on project site is 40" London Plane in planting strip; tree will be protected.
Tree protection on sites undergoing development in Single family... zones (25.11.060A/B)		

DEVELOPMENT WAIVERS REQUESTED FOR:

- LOT COVERAGE
- BUILDING HEIGHT @ HOSE TOWER AND FOR FLAG POLE
- FRONT YARD SETBACK



LOT COVERAGE DIAGRAM
SCALE: 1/16" = 1'-0"



AVERAGE GRADE LEVEL DIAGRAM
SCALE: 1/16" = 1'-0"



CITY OF SEATTLE

Rev Date Issued

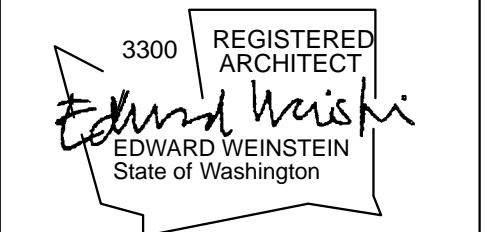
Fire Station 22 Master Use Permit Submittal

901 E. Roanoke St.
Seattle, WA

Project No. 13004

Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



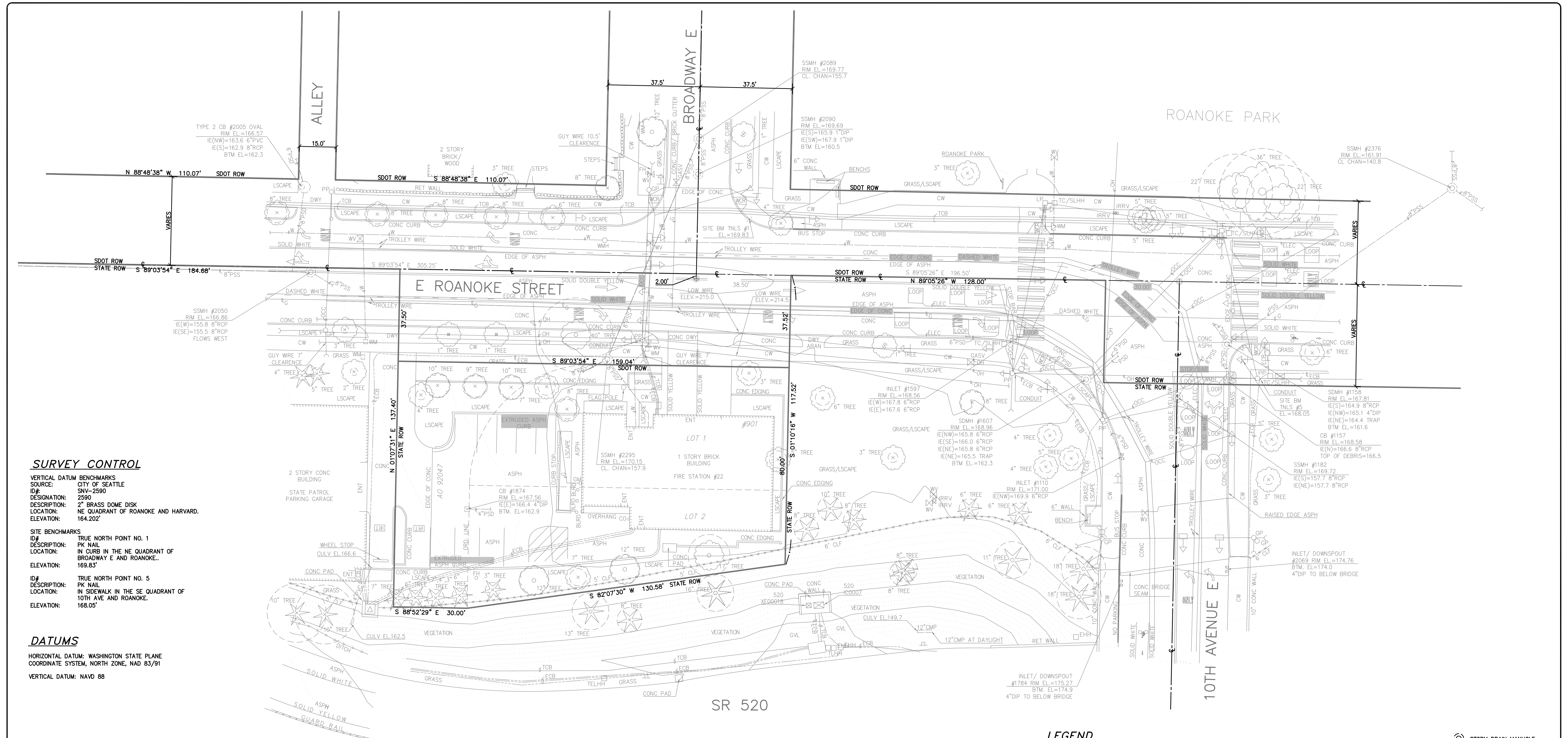
Issue MUP

Date 12/12/2014

Sheet Title LAND USE/ ZONING CODE

Sheet G100

WEINSTEIN A + U ARCHITECTS + URBAN DESIGNERS



SURVEY CONTROL

VERTICAL DATUM BENCHMARKS
 SOURCE: CITY OF SEATTLE
 D/F: SNA-2290
 DESIGNATION: 2290
 DESCRIPTION: 2" BRASS DOME DISK
 LOCATION: NE QUADRANT OF ROANOKE AND HARVARD.
 ELEVATION: 164.202'

SITE BENCHMARKS
 D/F: TRUE NORTH POINT NO. 1
 DESCRIPTION: PK NAIL
 LOCATION: IN CURB IN THE NE QUADRANT OF BROADWAY E AND ROANOKE.
 ELEVATION: 169.83'

D/F: TRUE NORTH POINT NO. 5
 DESCRIPTION: PK NAIL
 LOCATION: IN SIDEWALK IN THE SE QUADRANT OF 10TH AVE. AND ROANOKE.
 ELEVATION: 168.05'

DATUMS

HORIZONTAL DATUM: WASHINGTON STATE PLANE
 COORDINATE SYSTEM, NORTH ZONE, NAD 83/91
 VERTICAL DATUM: NAVD 88

NOTES

1. BASIS OF BEARINGS: WASHINGTON STATE PLANE COORDINATE SYSTEM NORTH ZONE 83/91.
2. UTILITIES SHOWN HEREON WERE FROM PHYSICAL STRUCTURES, OR FROM SURFACE PAINT MARKINGS BY A LOCATOR SERVICE. SEWER AND STORM LINES WERE BASED ON AS-BUILT INFORMATION AND CITY SEWER CARD INFORMATION.
3. CONTOUR INTERVAL = 1'.
4. EQUIPMENT USED BY TRUE NORTH LAND SURVEYING: LEICA TORA 1105+, LEICA SYSTEM 1200 GPS, LEICA DNA 03 DIGITAL LEVEL.
5. SURVEY PERFORMED IN NOVEMBER, 2011.
6. SOURCES: MILLER'S SECOND ADDITION TO SEATTLE AS PER PLAT RECORDED IN VOLUME 10 OF PLATS, PAGE 70, RECORDS OF KING COUNTY, CITY OF SEATTLE ENGINEERS FILE NO. 312 AND SR 3 SEATTLE FREEWAY, EAST GALER STREET TO SHELBY STREET, DATED DEC. 31ST 1957.

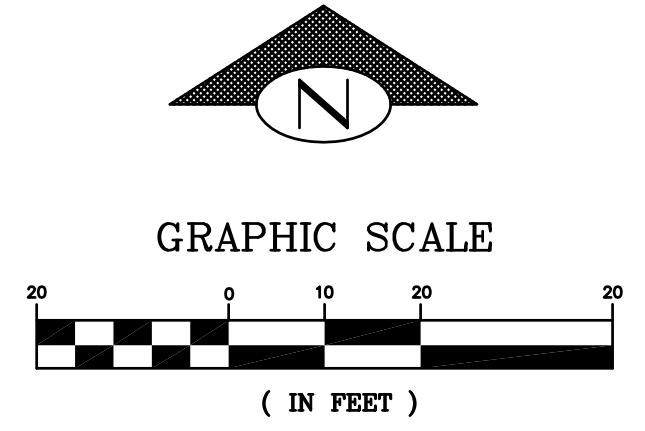
LEGAL DESCRIPTION OF FIRE STATION #22

LOT 1 AND THAT PORTION OF LOT 2 LYING NORTHERLY OF A LINE EXTENDING FROM THE SOUTHWEST CORNER OF SAID LOT 1 TO A POINT ON THE EASTERLY LINE OF SAID LOT WHICH IS 2 FEET SOUTH OF THE NORTHEAST CORNER THEREOF, ALL IN BLOCK 3 OF MILLER'S SECOND ADDITION TO SEATTLE AS PER PLAT RECORDED IN VOLUME 10 OF PLATS, PAGE 70, RECORDS OF KING COUNTY, TOGETHER WITH THAT PORTION OF THE EAST HALF OF BROADWAY AVENUE EAST, ACQUIRED BY OPERATION OF LAW, ADJACENT TO SAID LOTS ON THE WEST.

SR 520

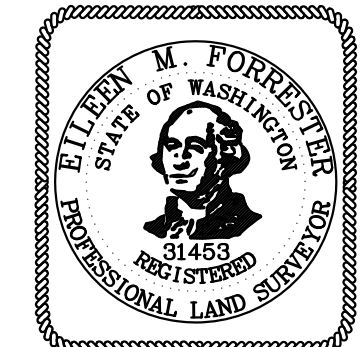
LEGEND

- ENT BUILDING ENTRANCE
- OCC OVERHEAD CATENARY CABLE
- CW CONCRETE WALK
- WCR WALKWAY CURB RAMP
- NON ILLUMINATED SIGN
- ILLUMINATED SIGN
- METAL POWER POLE W/ LUMINAIRE
- WOOD POWER POLE W/ LUMINAIRE
- STRAN POLE
- GUY POLE
- GUY ANCHOR
- HAND HOLE AS NOTED
- LUMINAIRE
- GROUND ROD IN CASE
- VEHICLE SIGNAL
- PEDESTRIAN SIGNAL PEDESTAL
- PEDESTRIAN PUSH BUTTON
- PEDESTRIAN SIGNAL CABINET
- GAS METER
- WATER MANHOLE
- FHO FIRE HYDRANT
- WM WATER METER
- IRV M IRRIGATION CONTROL VALVE
- GASV M GAS VALVE
- PARKING SPACE PAINT
- STORM DRAIN MANHOLE
- PRIVATE CATCH BASIN
- CATCH BASIN TYPE 241
- INLET
- SANITARY SEWER MANHOLE
- SEWER CLEANOUT
- MONUMENT IN CASE
- DECIDUOUS TREE
- CONIFEROUS TREE



SURVEYED:	BP/IS			
DRAWN:	CM			
CHECKED:	EF			
REV	REVISION	DATE	BY	APP'D

True NORTH
 LAND SURVEYING, INC.
 815 S. Weller Street
 Suite 200
 Seattle, WA 98104-3023
 206.332.0800



Date: 09/12/2014
 Scale: 1"=20'
 Drawing Name: J1163.DWG

FIRE STATION #22
TOPOGRAPHIC SURVEY
 FOR CITY OF SEATTLE

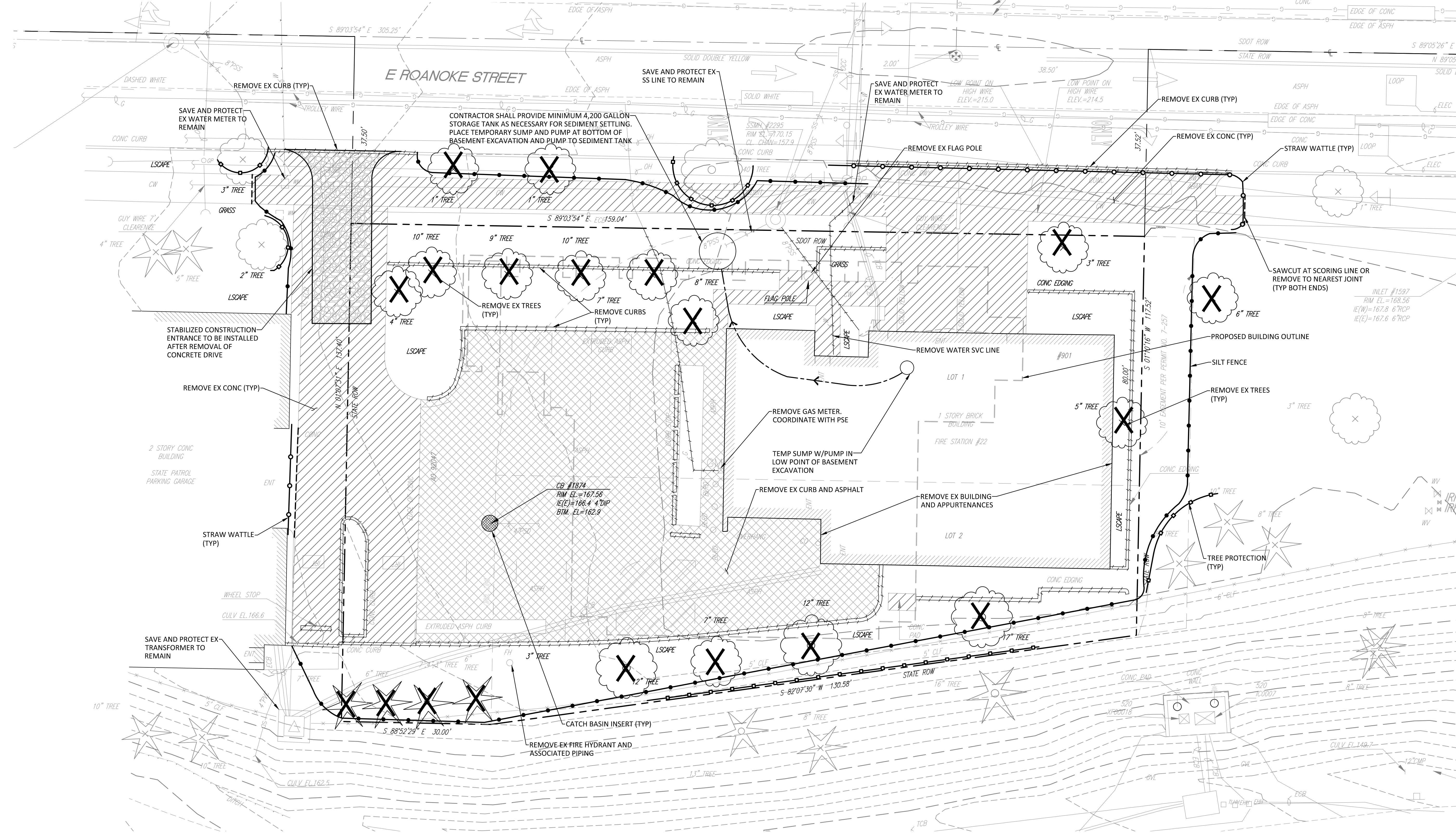
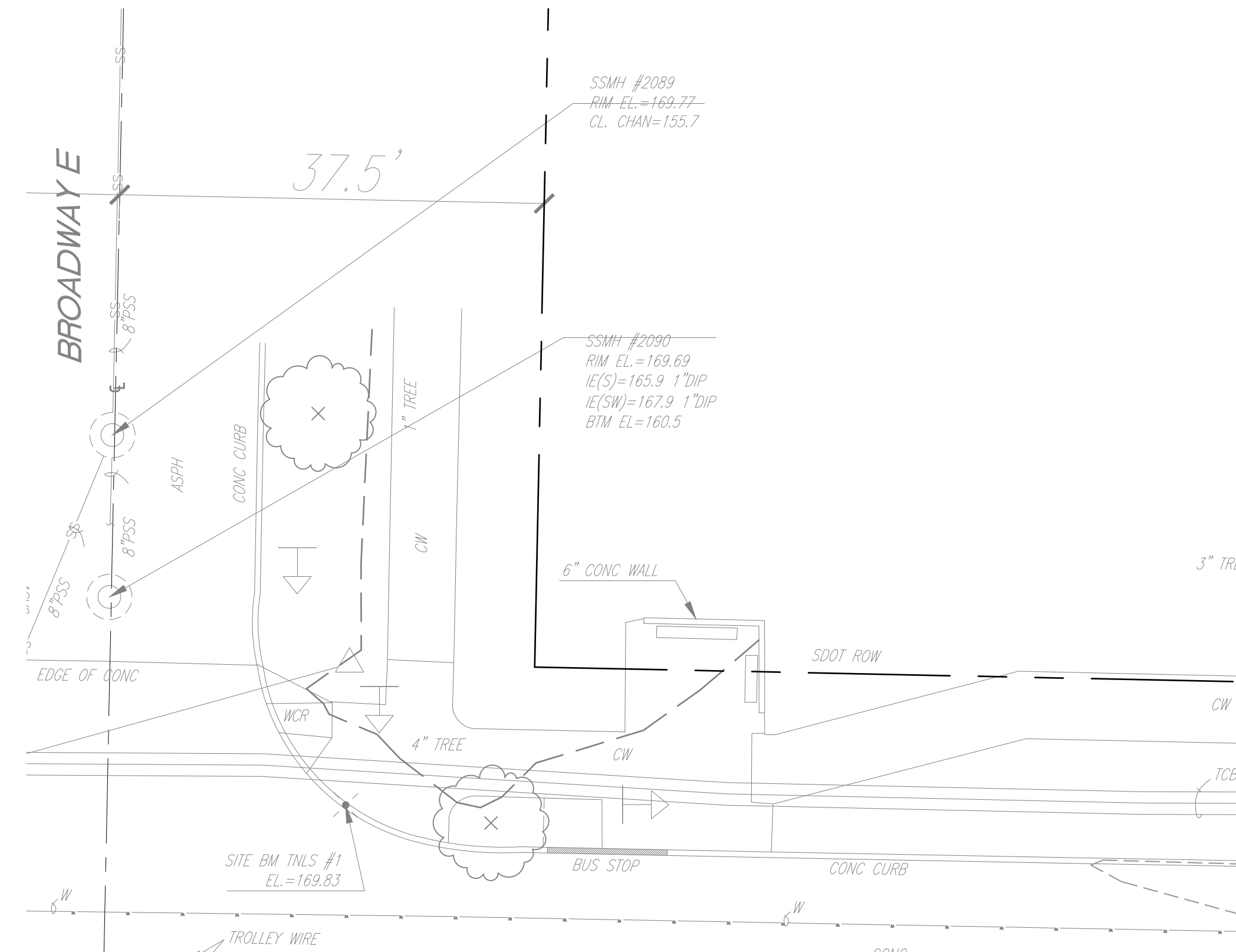
PORTION OF THE SW 1/4 OF THE NE 1/4 OF SEC. 20, T 25 N, R 04 E, W.M.,

Job Number: J1163.00
 Sheet: 1 of 1

CSEC NOTES

1. A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY. CALL 684-8900 OR ONLINE AT WWW.SEATTLE.GOV/DPD. CONSTRUCTION EROSION CONTROL MEASURES MUST BE SHOWN ON THIS PLAN AND APPROVED BY DPD BEFORE ANY LAND DISTURBING ACTIVITY BEGINS. COMPLETE CONSTRUCTION STORMWATER CONTROL DETAILS AND REQUIREMENTS MAY BE FOUND IN OR 16-2009 VOLUME 3: CONSTRUCTION STORMWATER CONTROL TECHNICAL REQUIREMENTS MANUAL.
2. THE IMPLEMENTATION OF THESE ESC AND SEDIMENTATION CONTROL (ESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE STANDARDS AND SPECIFICATIONS.
4. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
5. MARK CLEARING LIMITS AND ENVIRONMENTALLY CRITICAL AREAS. WITHIN THE BOUNDARIES OF THE PROJECT SITE AND PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, CLEARLY MARK ALL CLEARING LIMITS, EASEMENTS, SETBACKS, ALL ENVIRONMENTALLY CRITICAL AREAS AND THEIR BUFFERS, AND ALL TREES, AND DRAINAGE COURSES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA.
6. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE COMPLETED PRIOR TO ALL OTHER CONSTRUCTION.
7. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES), AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THEIR ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
8. TO THE MAXIMUM EXTENT FEASIBLE, RETAIN TOP LAYER WITHIN THE BOUNDARIES OF THE PROJECT SITE INCLUDING THE DUFF LAYER, TOP SOIL, AND NATIVE VEGETATION AN UNDISTURBED STATE.
9. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. OFF-SITE STORMWATER RUN-ON OR GROUNDWATER SHALL BE DIVERTED AWAY FROM SLOPES AND UNDISTURBED AREAS.
10. PREVENT ON-SITE EROSION BY STABILIZING ALL EXPOSED AND UNWORKED SOILS, INCLUDING STOCK PILES. FROM OCTOBER 1 TO APRIL 30, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN TWO DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN SEVEN DAYS. SOILS SHALL BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. SOIL STOCKPILES SHALL BE STABILIZED FROM EROSION, PROTECTED WITH SEDIMENT TRAPPING MEASURES, AND BE LOCATED AWAY FROM STORM DRAIN INLETS, WATERWAYS, AND DRAINAGE CHANNELS. BEFORE THE COMPLETION OF THE PROJECT, PERMANENTLY STABILIZE ALL EXPOSED SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
11. PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS FROM THE DEVELOPMENT ACTIVITIES FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF DRAINAGE WATER FROM THE PROJECT SITE.
12. PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE BY ROUTING ALL DRAINAGE WATER FROM DISTURBED AREAS THROUGH A SEDIMENT TRAP OR OTHER APPROPRIATE SEDIMENT REMOVAL BEST MANAGEMENT PRACTICES (BMP) PRIOR TO DISCHARGING FROM THE SITE. SEDIMENT CONTROLS INTENDED TO TRAP SEDIMENT ON SITE SHALL BE CONSTRUCTED AS ONE OF THE FIRST STEPS IN GRADING AND SHALL BE FUNCTIONAL BEFORE OTHER LAND DISTURBING ACTIVITIES TAKE PLACE.
13. STABILIZED CONSTRUCTION ENTRANCES AND/OR WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL REQUIREMENTS SHALL BE ENFORCED BY THE INSPECTOR TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN OF SILT FROM CONSTRUCTION VEHICLES.
14. LIMIT CONSTRUCTION VEHICLE ACCESS. STABILIZE ALL ACCESS POINTS AND PREVENT TRACKING SEDIMENT ONTO PUBLIC ROADS. PROMPTLY REMOVE ANY SEDIMENT TRACKED OFF SITE. PROVIDE PERIODIC STREET CLEANING BY SWEEPING OR SHOVELING ANY SEDIMENT THAT MAY HAVE BEEN TRACKED OUT.

15. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON A PUBLIC STREET, THE STREET SHALL BE CLEANED WITH A VACUUM SWEEPER OR BROOM AND SHOVEL; STREET WASHING IS ALLOWED ONLY AS A LAST RESORT AND MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION VEHICLE ENTRANCE AND SHALL BE CLEANED OF MUD PRIOR TO EXITING ONTO THE STREET.
16. ANY CATCH BASIN COLLECTING WATER FROM THE SITE, WHETHER THEY ARE ON OR OFF OF THE SITE, SHALL BE PROTECTED PER PROJECT DOCUMENTS. PREVENT SEDIMENT FROM ENTERING ALL STORM DRAINS, INCLUDING DITCHES, WHICH RECEIVE DRAINAGE WATER FROM THE PROJECT. STORM DRAIN INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED AS RECOMMENDED BY THE PRODUCT MANUFACTURER, OR MORE FREQUENTLY IF REQUIRED TO PREVENT FAILURE OF THE DEVICE OR FLOODING. STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT DRAINAGE WATER DOES NOT ENTER THE DRAINAGE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS. STORM DRAIN INLET PROTECTION DEVICES SHALL BE REMOVED AT THE CONCLUSION OF THE PROJECT.
17. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO DOWNSTREAM SYSTEM.
18. ALL TEMPORARY ON-SITE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED TO PREVENT EROSION. STABILIZATION SHALL BE PROVIDED AT THE OUTLETS OF ALL DRAINAGE SYSTEMS, ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAM BANKS, SLOPES, AND DOWNSTREAM REACHES. IF ANY PORTION OF THE EROSION/SEDIMENTATION CONTROL ELEMENTS IS DAMAGED OR NOT FUNCTIONING, OR IF THE CLEARING LIMIT BOUNDARY BECOMES NON-DEFINED, IT SHALL BE REPAIRED IMMEDIATELY.
19. MEASURES SHALL BE TAKEN TO CONTROL POTENTIAL POLLUTANTS. COMPLY WITH THE REQUIREMENTS FOR EACH OF THE FOLLOWING: CONSTRUCTION RELATED ACTIVITIES: POLLUTANT DISPOSAL (INCLUDING SEDIMENT, WASTE MATERIALS, AND DEMOLITION DEBRIS); CHEMICAL STORAGE; ON-SITE FUELING; MAINTENANCE, FUELING AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES; CLEANUP OF CONTAMINATED SURFACES; DISCHARGE OF WHEEL WASH WASTEWATER, FERTILIZER AND PESTICIDE APPLICATION; PH-MODIFYING SOURCES.
20. WHEN DEWATERING DEVICES DISCHARGE ON SITE OR TO A PUBLIC DRAINAGE SYSTEM, DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP TO REMOVE SEDIMENT CONTAMINATION, OR OTHER SEDIMENT REMOVAL BMP. A SEPARATE DEWATERING PERMIT IS REQUIRED FOR: ONE ACRE OR GREATER DISTURBED AREA; CONTAMINATED SURFACE AND/OR GROUNDWATER; EXCAVATION GREATER THAN 12 FEET IN DEPTH; SIGNIFICANT VOLUME OF GROUNDWATER; OTHER SITE SPECIFIC CONDITIONS LEADING TO SIGNIFICANT DEWATERING.
21. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSPECTED, MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED WITHIN FIVE (5) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY CONTROLS ARE NO LONGER NEEDED, WHICHEVER IS LATER. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED. FOR PROJECTS WITH 5,000 SQUARE FEET OR MORE OF NEW PLUS REPLACED IMPERVIOUS SURFACE OR 7,000 SQUARE FEET OR MORE OF LAND DISTURBING ACTIVITY, SITE INSPECTIONS SHALL BE CONDUCTED BY A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD WHO SHALL BE IDENTIFIED IN THE CONSTRUCTION STORMWATER CONTROL PLAN AND SHALL BE PRESENT ON-SITE OR ON-CALL AT ALL TIMES.
22. CONSTRUCTION SITE OPERATORS SHALL MAINTAIN, UPDATE, AND IMPLEMENT THE CONSTRUCTION STORMWATER CONTROL PLAN, AND SHALL MODIFY THE CONSTRUCTION STORMWATER CONTROL PLAN TO MAINTAIN COMPLIANCE.
23. IN THE CONSTRUCTION OF UNDERGROUND UTILITY LINES, WHERE FEASIBLE, NO MORE THAN ONE HUNDRED FIFTY (150) FEET OF TRENCH SHALL BE OPENED AT ONE TIME.
24. DEVELOPMENT PROJECTS SHALL BE PHASED IN ORDER TO MINIMIZE THE AMOUNT OF LAND DISTURBING ACTIVITY OCCURRING AT THE SAME TIME AND SHALL TAKE INTO ACCOUNT SEASONAL WORK LIMITATIONS.
25. AFTER CONSTRUCTION BUT BEFORE THE PROJECT IS CONSIDERED COMPLETED, STABILIZE ALL EXPOSED SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.



LEGEND

- PROPERTY LINE
- - - EX CONTOUR (INDEX)
- - - EX CONTOUR
- PROPOSED BUILDING OUTLINE
- BUILDING/STRUCTURE REMOV.
- SAWCUT LINE
- ASPHALT REMOVAL
- CONCRETE REMOVAL
- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- STRAW WATTLE/ROLL
- EX TREE TO REMAIN
- EX TREE TO BE REMOVED
- TREE PROTECTION
- EX CURB TO BE REMOVED
- EX UTILITY TO BE REMOVED
- INLET PROTECTION

CITY OF SEATTLE
LPD engineering pllc
 911 Western Ave, Suite 420, Seattle, WA 98104
 P. 206.725.1211
 F. 206.973.5344
 www.lpdengineering.com

Rev Date	Issued

Fire Station 22
MASTER USE PERMIT SUBMITTAL
 901 E. Roanoke St. Seattle WA 98102

Project No. 13004

Weinstein A+U Architects + Urban Designers LLC
 121 Stewart Street Suite 200
 Seattle WA 98101-1000 USA
 T 206 443 8606
 F 206 443 1218
 weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

LAURIE M. PEIER
 ARCHITECT
 12/10/2014

Issue	MUP
Date	12/12/2014
Sheet Title	CSEC AND SITE DEMOLITION
Sheet	C1.0

Call 3 Working Days Before You Dig!
1-800-424-5555

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS

c:\pdr\engineering\plc\projects\firestation22\13004\13004_01.dwg (sheet) 12/11/2014 12:46 PM

GENERAL STORM DRAINAGE NOTES

- 1. ALL LOCATIONS OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLANS HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF PROPOSED IMPROVEMENTS.

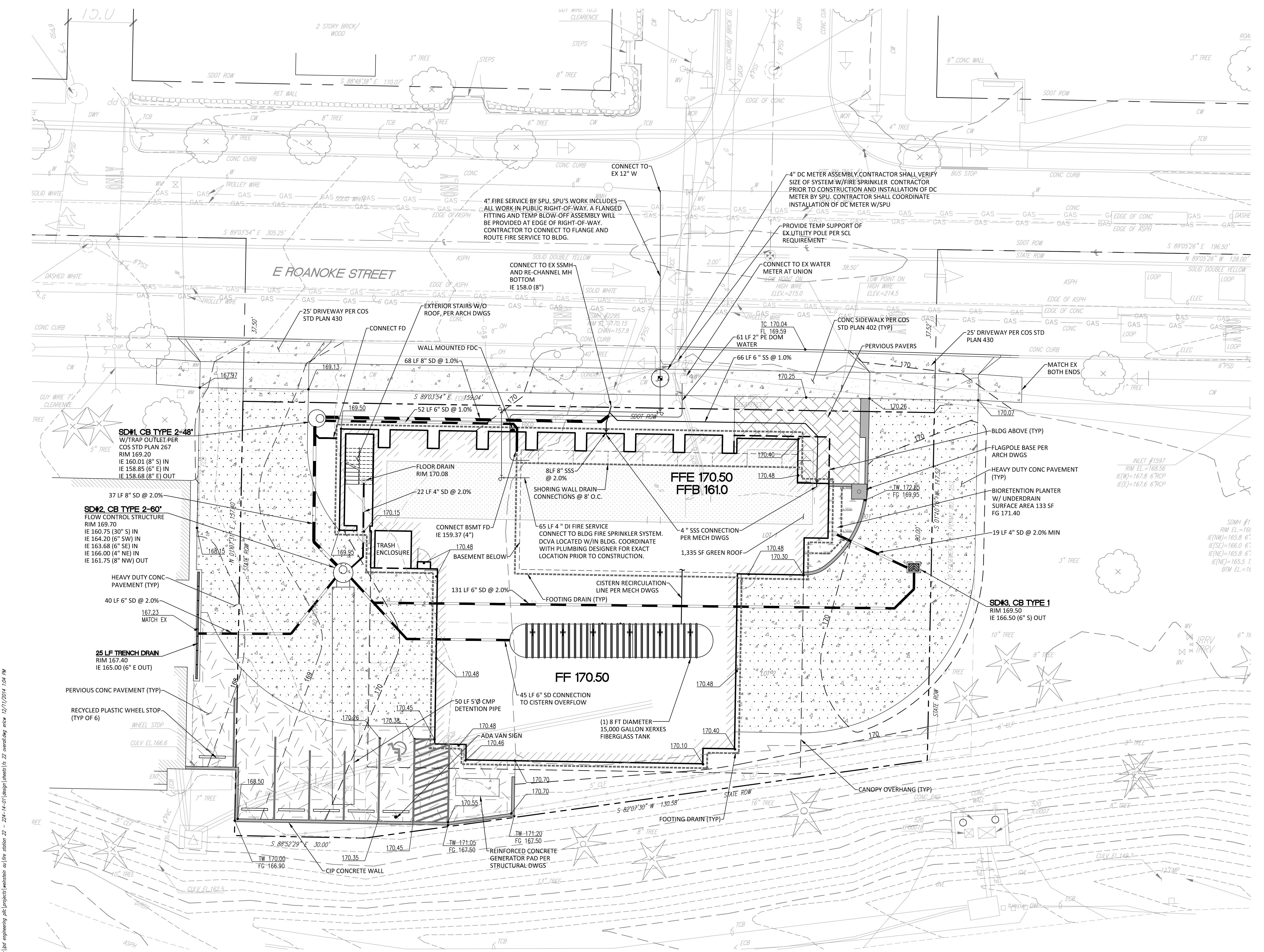
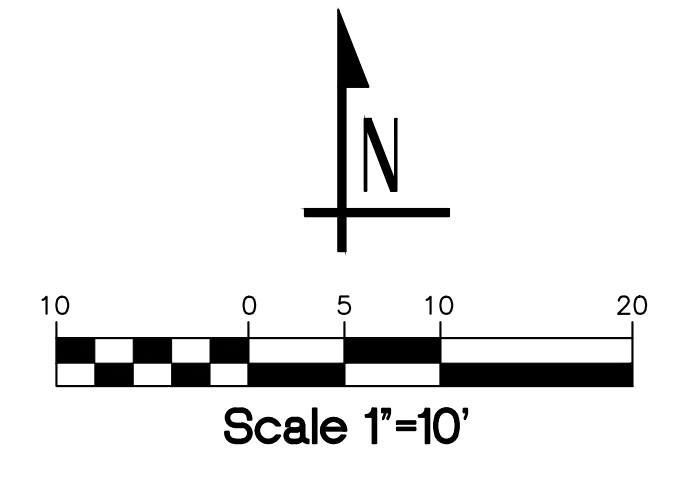
- 13. WHERE A NEW PIPE CLEARS AN EXISTING OR NEW UTILITY BY 6 INCHES OR LESS, PROVIDE POLYETHYLENE PLASTIC FOAM AS A CUSHION BETWEEN UTILITIES.
- 14. PIPE INSTALLATIONS SHALL BE IN ACCORDANCE WITH COS SPECIFICATIONS 7-01.
- 15. THE FOOTING DRAINAGE SYSTEM/FOUNDATION DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS AT LEAST 1 FOOT BELOW THE FOOTING DRAINAGE SYSTEM/FOUNDATION DRAINAGE SYSTEM AND DOWN SLOPE OF THE BUILDING FOUNDATION.

General Sewer Notes

- UNLESS OTHERWISE SPECIFIED:
1. THE SANITARY SIDE SEWER SYSTEM SHALL BE CONSTRUCTED ACCORDING TO APPROVED PLANS. ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE APPROVAL FROM THE INSPECTOR.
- 2. A COPY OF THE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- 3. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATION OF ALL CONNECTIONS TO EXISTING SYSTEMS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE INSPECTOR AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.

LEGEND

Legend defining symbols for PROPERTY LINE, EX CONTOUR (INDEX), PROPOSED CONTOUR (INDEX), PROPOSED CONTOUR, SPOT ELEVATION, FINISHED FLOOR ELEVATION, PROPOSED BUILDING, CONCRETE PAVEMENT, HEAVY DUTY CONCRETE PAVEMENT, PERVIOUS CONCRETE, PERVIOUS PAVERS, GREEN ROOF, VERTICAL CURB, CATCH BASIN TYPE 1, CATCH BASIN TYPE 2, STORM DRAINAGE PIPE, FOOTING/SUBSURFACE DRAIN, DETENTION PIPE, STORM DRAIN CLEANOUT, DOWNSPOUTS, SIDE SEWER PIPE, SEWER CLEANOUT, SIDE SEWER CONNECTION, SSMH, WATER FITTINGS, WATER SERVICE LINES, FIRE SERVICE LINE.



City of Seattle GIS to MEP Requirement Calculator (1013-03-03)
Building Permit No.: 13004
Project Address: 901 E Roanoke St
Includes tables for:
- Green Infrastructure Metrics
- Stormwater Management
- Green Building Features
- Green Building Practices
- Green Building Checklist

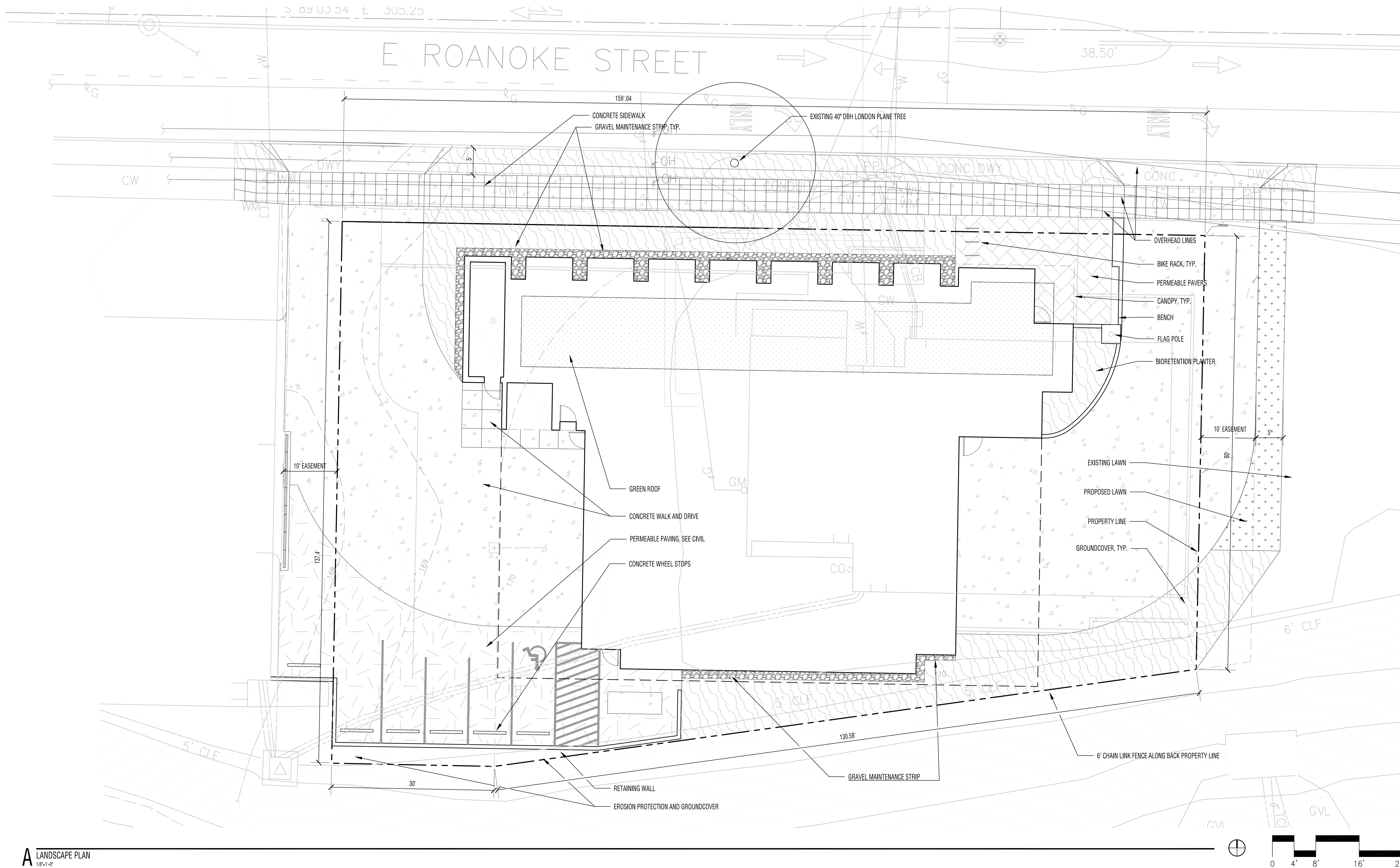
CITY OF SEATTLE logo
LPD engineering pllc logo
911 Western Ave, Seattle, WA 98104
www.lpdengineering.com

Rev Date Issued
Fire Station 22
MASTER USE PERMIT SUBMITTAL
901 E. Roanoke St. Seattle WA 98102
Project No. 13004
Weinstein A+U Architects + Urban Designers LLC
121 Stewart Street Suite 200 Seattle WA 98101-1000 USA

Professional Engineer Seal for Laurie E. Feiler
Issue: MUP
Date: 12/12/2014
Sheet Title: GRADING, DRAINAGE, UTILITIES, AND PAVING
Sheet: C2.0

Call 3 Working Days Before You Dig!
1-800-424-5555

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



A LANDSCAPE PLAN
1/8" = 1'-0"

- NOTES:
- SEE L200 FOR PLANTING PLAN AND PLANT LIST
 - ALL ON GRADE AND ON STRUCTURE PLANTING AREAS TO RECEIVE AN AUTOMATIC HIGH-EFFICIENT IRRIGATION SYSTEM
 - ALL ON GRADE AND ON STRUCTURE PLANTING AREAS TO RECEIVE AMENDED SANDY LOAM TOPSOIL MIX TO THE FOLLOWING MINIMUM REQUIRED DEPTHS:
TREES - 36"
SHRUBS AND GROUNDCOVERS - 18"-24"
 - AMENDED SOIL TO INCLUDE 3" OF COMPOST INCORPORATED TO A DEPTH OF 8", AND 2"-4" OF MULCH APPLIED TO ALL PLANTING BEDS.
 - TOTAL PROPERTY AREA: 14,625 SF
 - TOTAL LANDSCAPED AREA WITHIN PROPERTY LINE: 894 SF
 - PERCENT COVERED: 6% (DOES NOT INCLUDE LANDSCAPED AREA OUTSIDE OF PROPERTY LINE)
 - TOTAL AREA OF DISTURBANCE: 19,100 SF
 - TOTAL LANDSCAPED AREA: 3090
 - PERCENT COVERED: 16%



MURASE ASSOCIATES
200 E. Boston St., Seattle, WA 98102
p: (206) 322-6937 f: (206) 329-7264
www.murase.com

Rev Date Issued

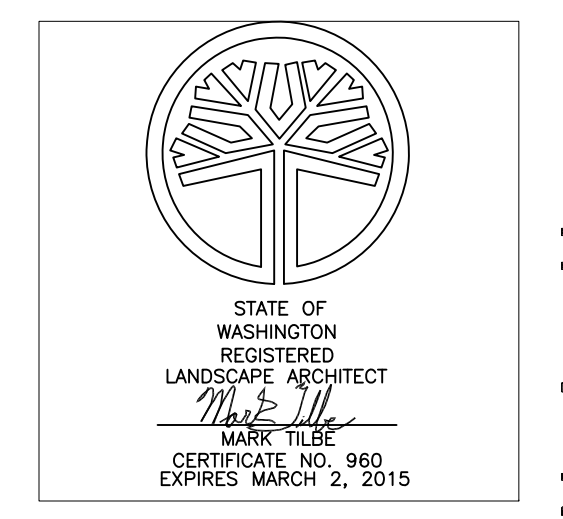
Fire Station 22

**MASTER PERMIT
USE SUBMITTAL**
901 E. Roanoke St. Seattle
WA 98102

Project No. 13004

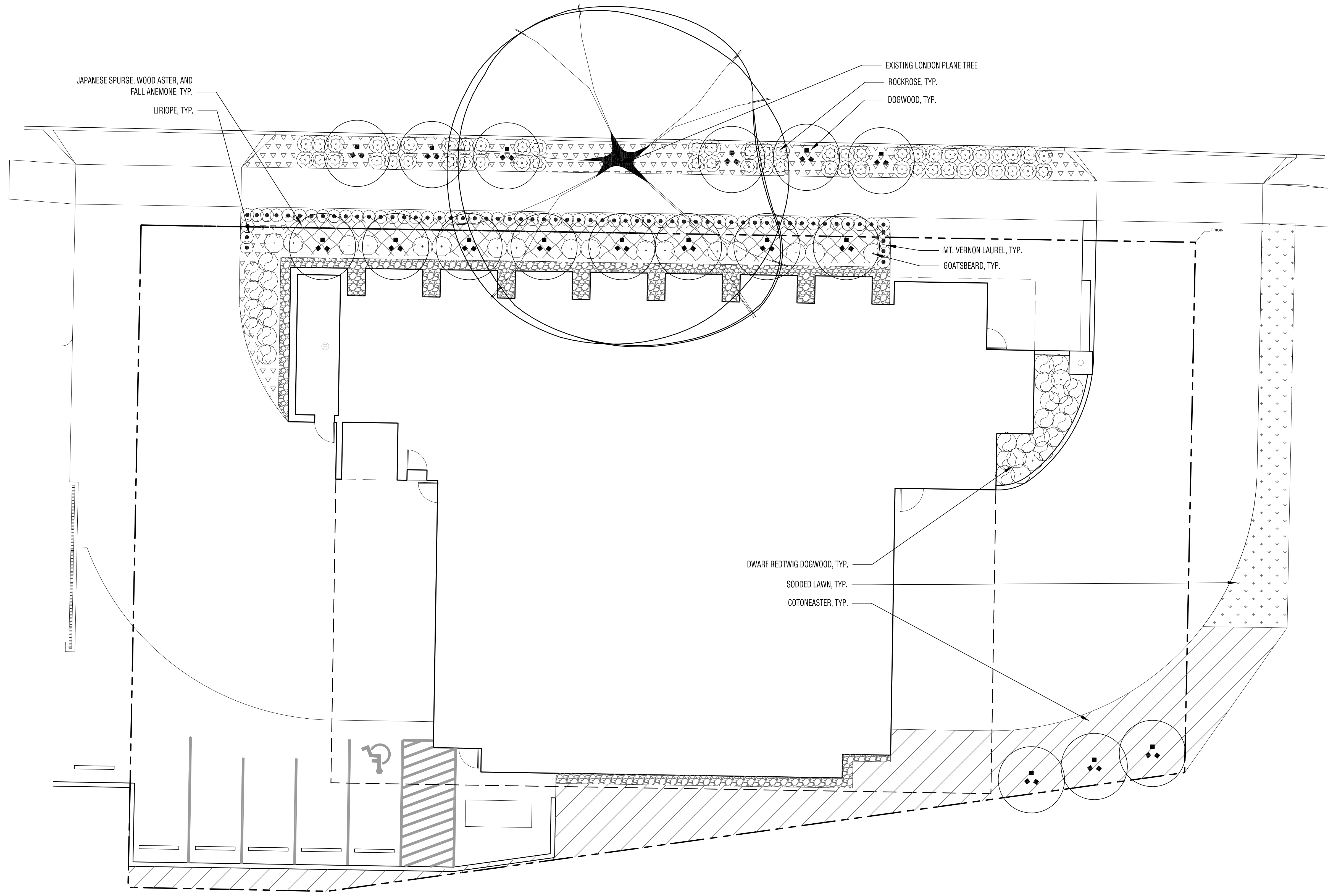
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle WA 98101-1000 USA
T 206 443 8606
F 206 443 1216
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

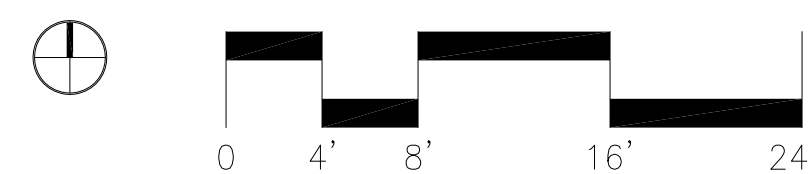


Issue MASTER PERMIT
USE SUBMITTAL
Date 12/11/2014
Sheet Title Landscape Plan
Sheet **L100**

WEINSTEIN A + U ARCHITECTS + URBAN DESIGNERS

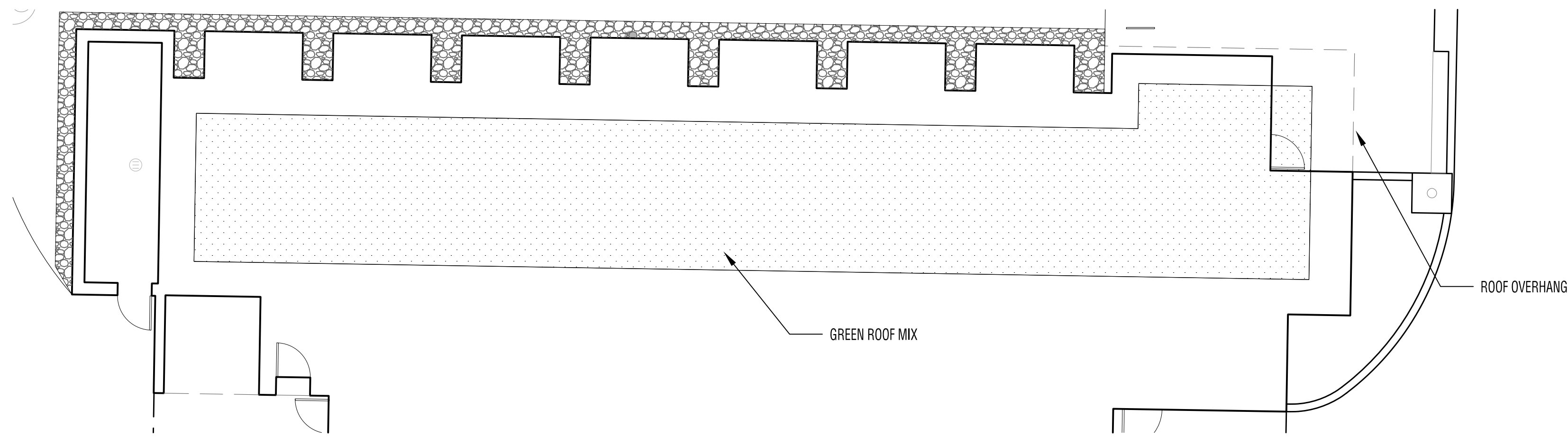


A GROUND LEVEL PLANTING PLAN
1/8"=1'-0"

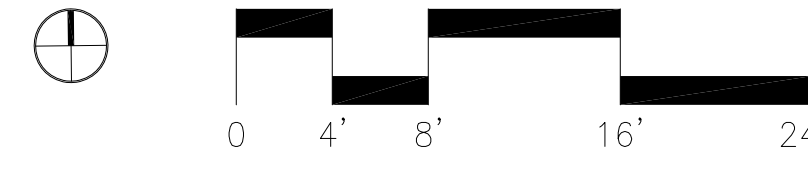


PLANT LIST					
TREES AND SHRUBS					TOTAL: 163
SYMBOL	QUA.	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
⊙	17	<i>Cornus X 'Eddie's White Wonder'</i>	Eddie's White Wonder Dogwood	10' ht, B&B	
⊙	58	<i>Cistus X corbariensis</i> *	White Rockrose	2 gal., 30" o.c.	
⊙	25	<i>Cornus sericea 'Kelsy'</i> *	Dwarf Redtwig Dogwood	2 gal., 30" o.c.	
⊙	63	<i>Prunus laurocerasus 'Mt. Vernon'</i> *	Mt. Vernon Laurel	2 gal., 20" o.c.	
GROUNDCOVERS					TOTAL: 862
SYMBOL	QUA.	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
⊙	22	<i>Aranus dioicus</i> *	Goatsbeard	1 gal., 3" o.c.	
▨	230	<i>Cotoneaster dammeri 'Lowfast'</i> *	Lowfast Cotoneaster	1 gal., 30" o.c.	
▨	190	<i>Liriope muscari 'Big Blue'</i> *	Lilyturf	1 gal., 18" o.c.	
▨	50	<i>Eurybia divaricata</i> *	White Wood Aster	1 gal., 18" o.c.	In groups of 5-7
▨	20	<i>Anemone X 'Honorine Jobert'</i> #	Honorine Jobert Japanese Anemone	1 gal., 30" o.c.	In groups of 3
▨	350	<i>Pachysandra terminalis</i> *	Japanese Spurge	4" pot, 10" o.c.	
▨	1335	Green Roof Mix*	Columbia Green Tuft Stuff Sedum Mix		
		* Seattle Greenfactor Plant List	* Native	#Drought Tolerant (Wildflower.org)	#Drought Tolerant (SeattleTimes.com 10/3/2003)

NOTES:
SEE L100 FOR LANDSCAPE PLAN



B ROOF PLANTING PLAN
1/8"=1'-0"



MURASE ASSOCIATES
200 E. Boston St., Seattle, WA 98102
p: (206) 322-6937 f: (206) 329-7264
www.murase.com

Rev Date Issued

Fire Station 22

MASTER PERMIT
USE SUBMITTAL
901 E. Roanoke St. Seattle
WA 98102

Project No. 13004

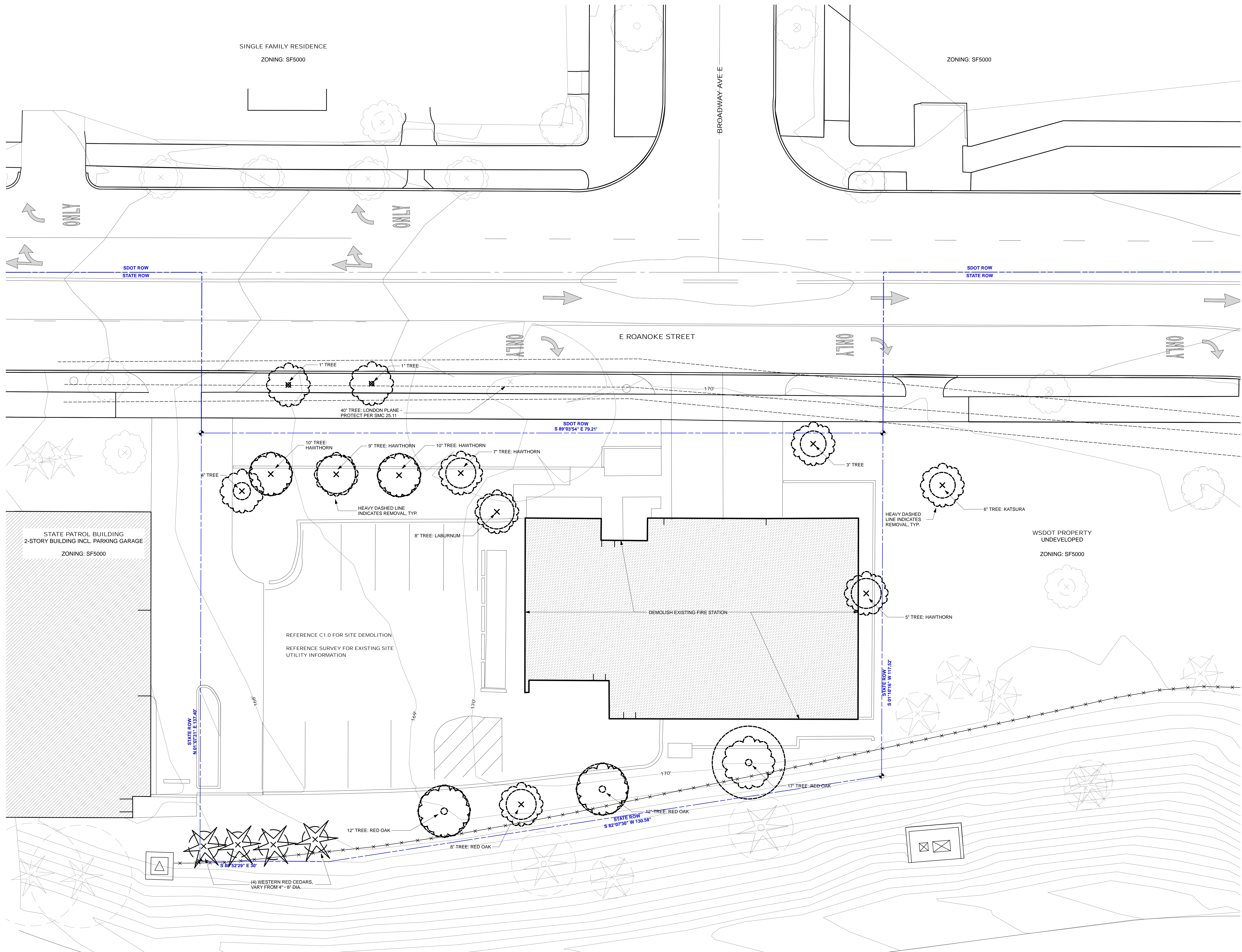
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle WA 98101-1000 USA
T 206 443 8606
F 206 443 1216
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue MASTER PERMIT
USE SUBMITTAL
Date 12/11/2014
Sheet Title Planting Plan
Sheet **L200**

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



CITY OF SEATTLE

Rev Date Issued

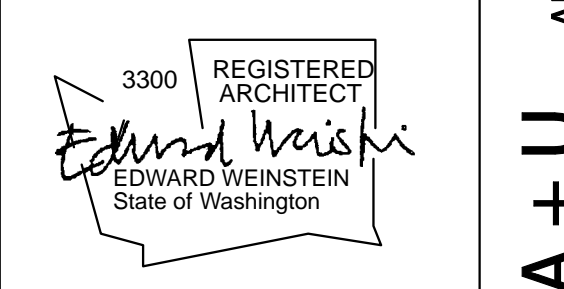
**Fire Station 22
Master Use Permit
Submittal**

901 E. Roanoke St.
Seattle, WA

Project No. 13004

Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



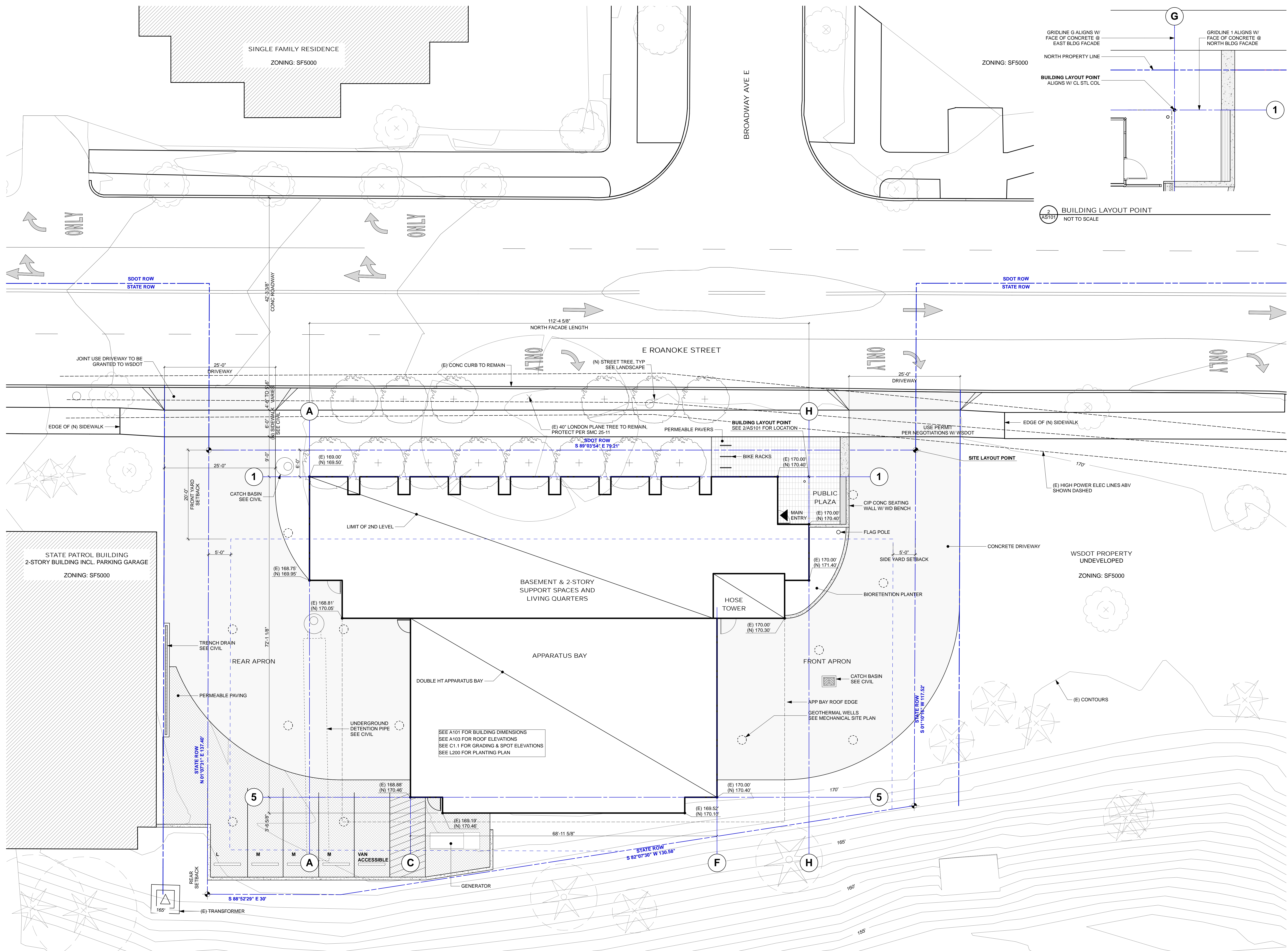
Issue MUP

Date 12/12/2014

Sheet Title ARCH SITE DEMO PLAN

Sheet **AD101**

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



2 AS101 BUILDING LAYOUT POINT NOT TO SCALE

BUILDING LAYOUT 1. BUILDING LAYOUT POINT LOCATED PER 2 / AS101 2. NORTH BUILDING FACADE IS PARALLEL TO NORTH PROPERTY LINE



CITY OF SEATTLE

Rev Date Issued

Fire Station 22 Master Use Permit Submittal

901 E. Roanoke St. Seattle, WA

Project No. 13004

Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue MUP

Date 12/12/2014

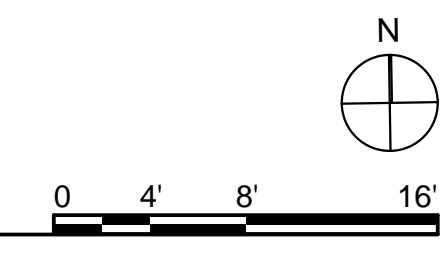
Sheet Title ARCH SITE PLAN

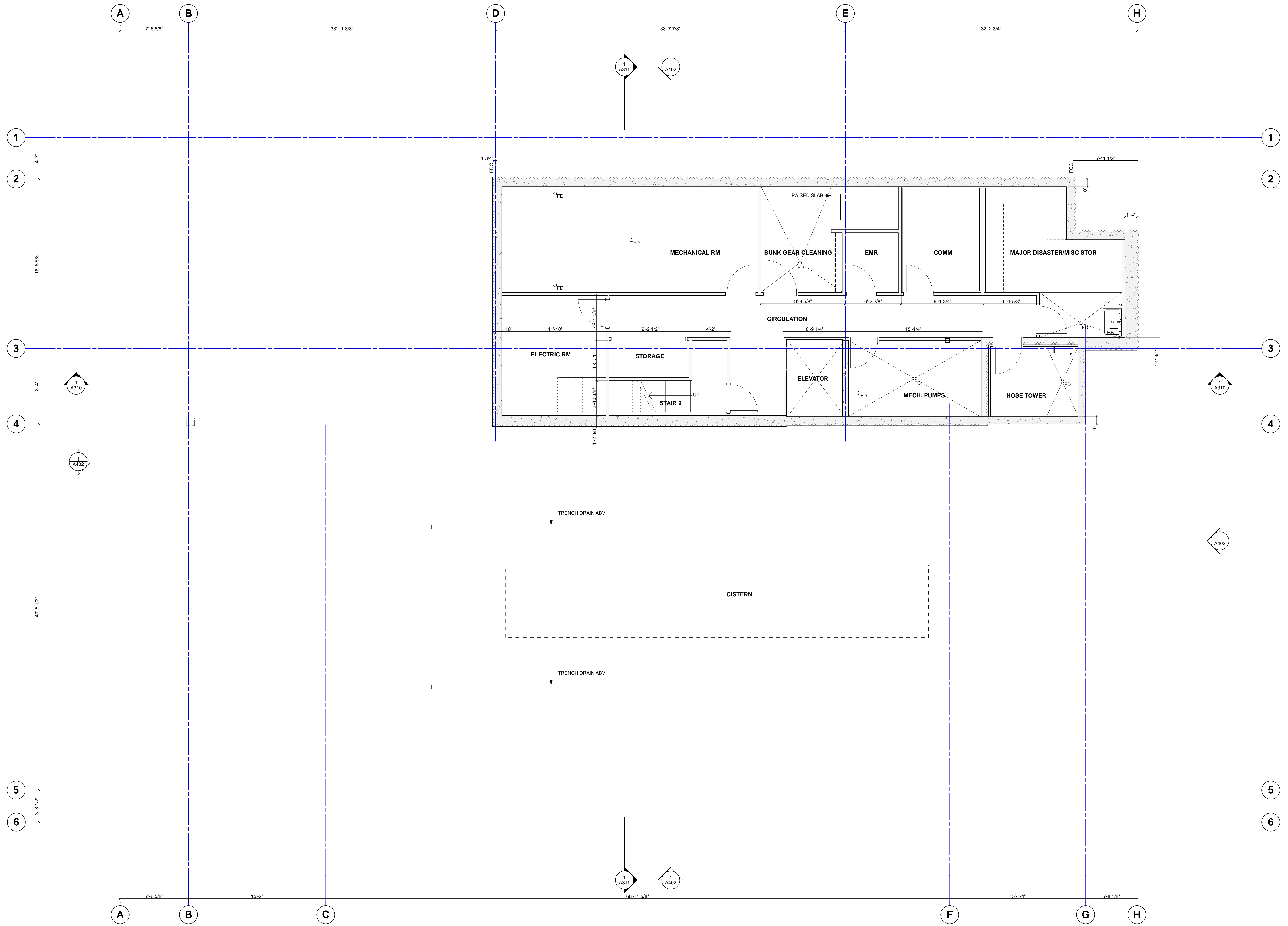
Sheet AS101

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS

PROPERTY ADDRESS: 901 E. ROANOKE STREET
OWNER: CITY OF SEATTLE, FLEETS & FACILITIES DEPT, CAPITOL PROGRAMS
APN: 5535100285
LOT AREA: 14,625 SQ.FT (PER SURVEY), 11,099 SF PER KING COUNTY TA
ZONE: SF 5000

1 AS101 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"





CITY OF SEATTLE

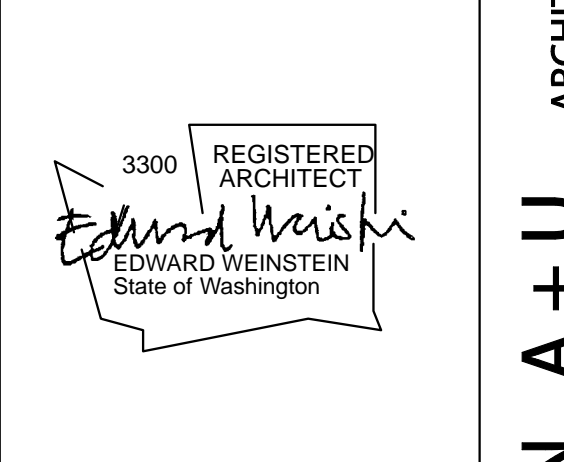
Rev Date	Issued
----------	--------

**Fire Station 22
Master Use Permit
Submittal**

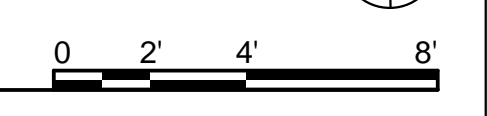
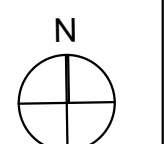
901 E. Roanoke St.
Seattle, WA
Project No. 13004

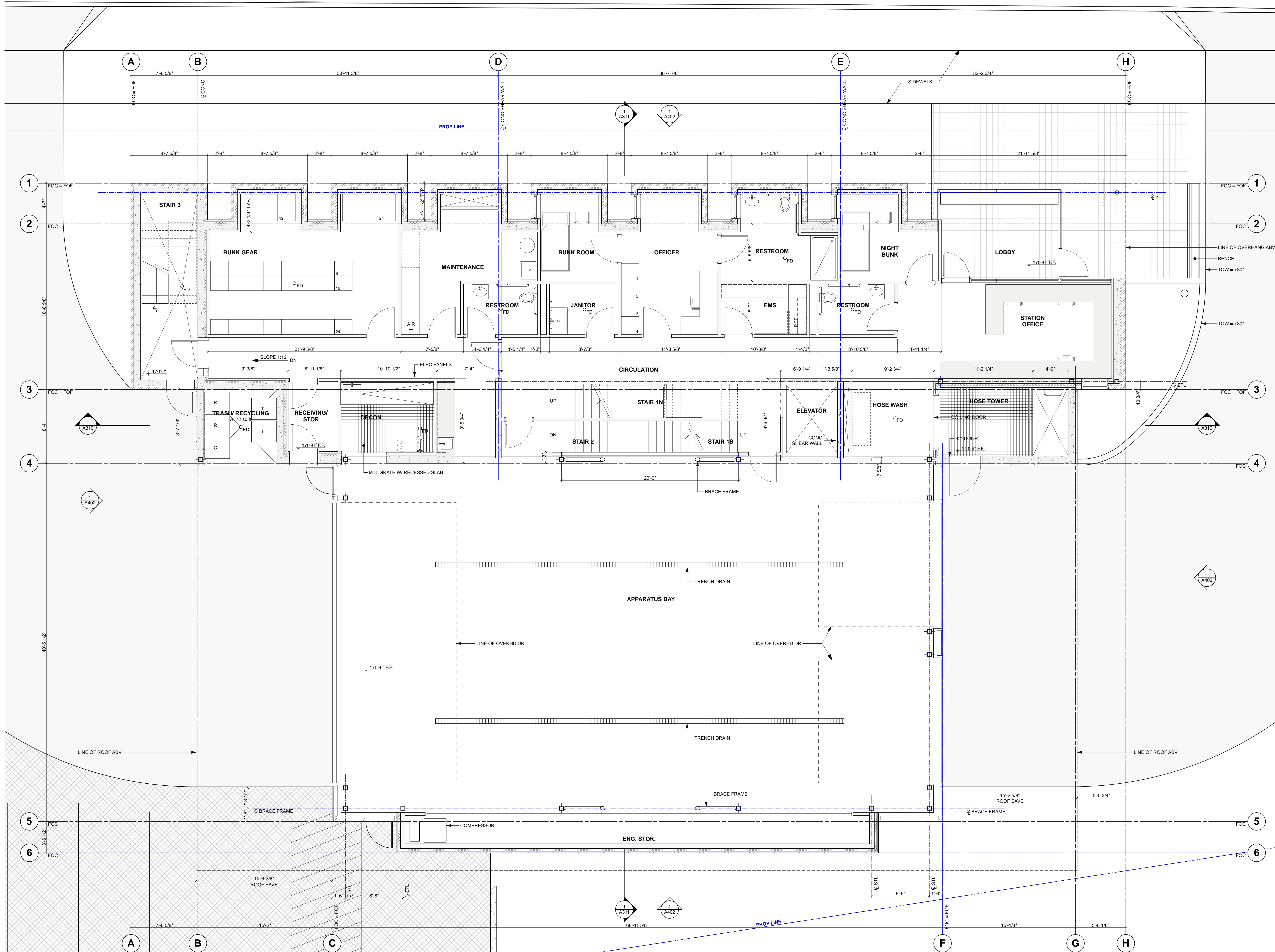
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue	MUP
Date	12/12/2014
Sheet Title	BASEMENT PLAN
Sheet	A100





CITY OF SEATTLE

Rev Date Issued

Fire Station 22
Master Use Permit
Submittal

901 E. Roanoke St.
Seattle, WA

Project No. 13004

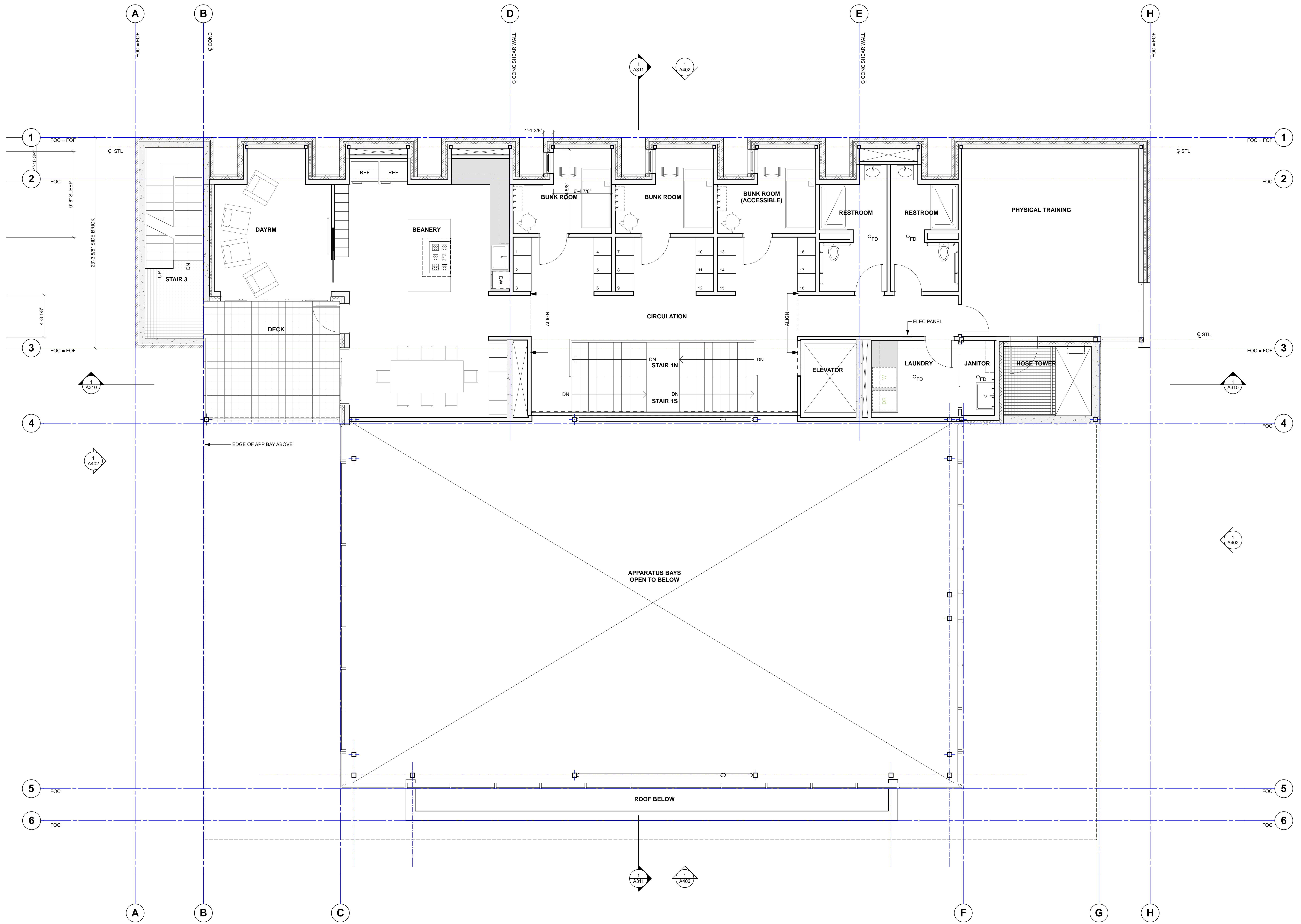
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue MUP
Date 12/12/2014
Sheet Title 1ST FLOOR PLAN
Sheet A101

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



CITY OF SEATTLE

Rev Date	Issued
----------	--------

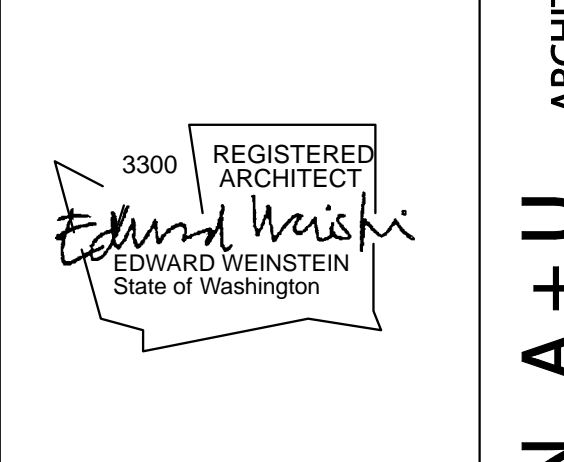
**Fire Station 22
Master Use Permit
Submittal**

901 E. Roanoke St.
Seattle, WA

Project No. 13004

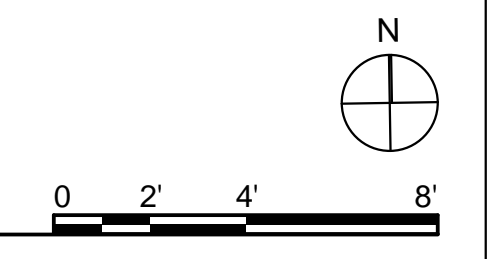
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

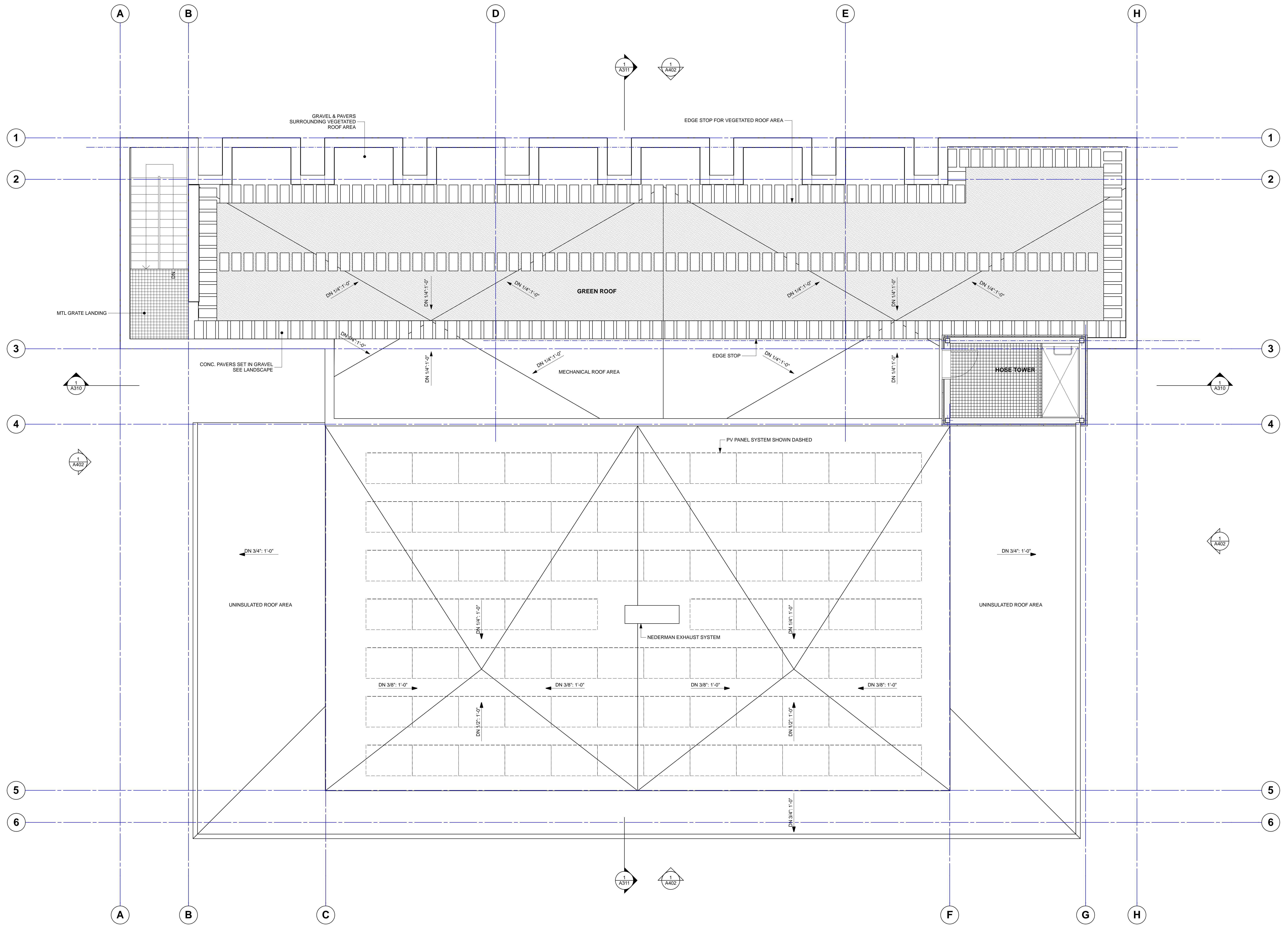
© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue	MUP
Date	12/12/2014
Sheet Title	2ND FLOOR PLAN
Sheet	A102

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS





CITY OF SEATTLE

Rev Date Issued

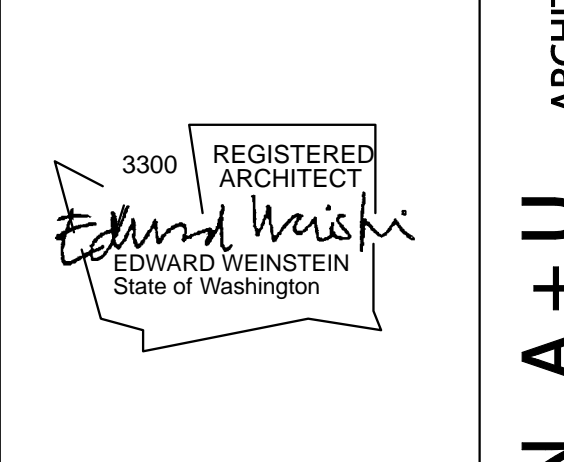
**Fire Station 22
Master Use Permit
Submittal**

901 E. Roanoke St.
Seattle, WA

Project No. 13004

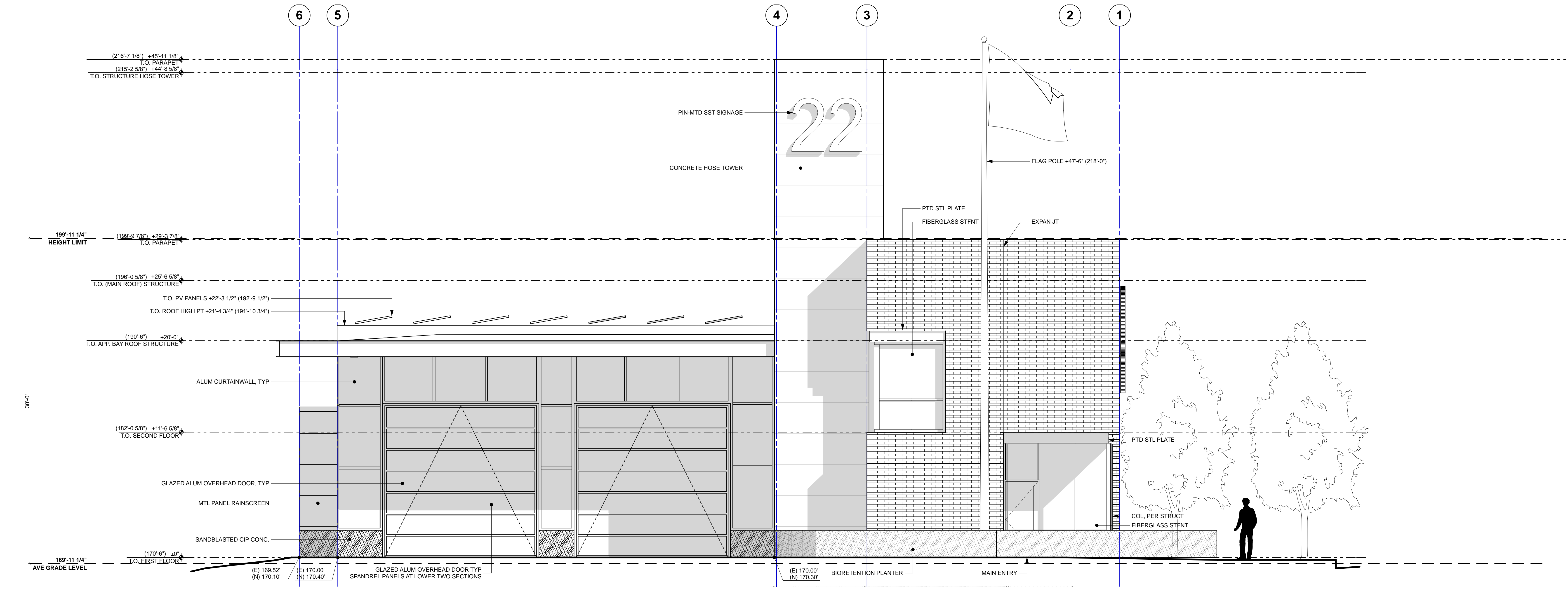
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.

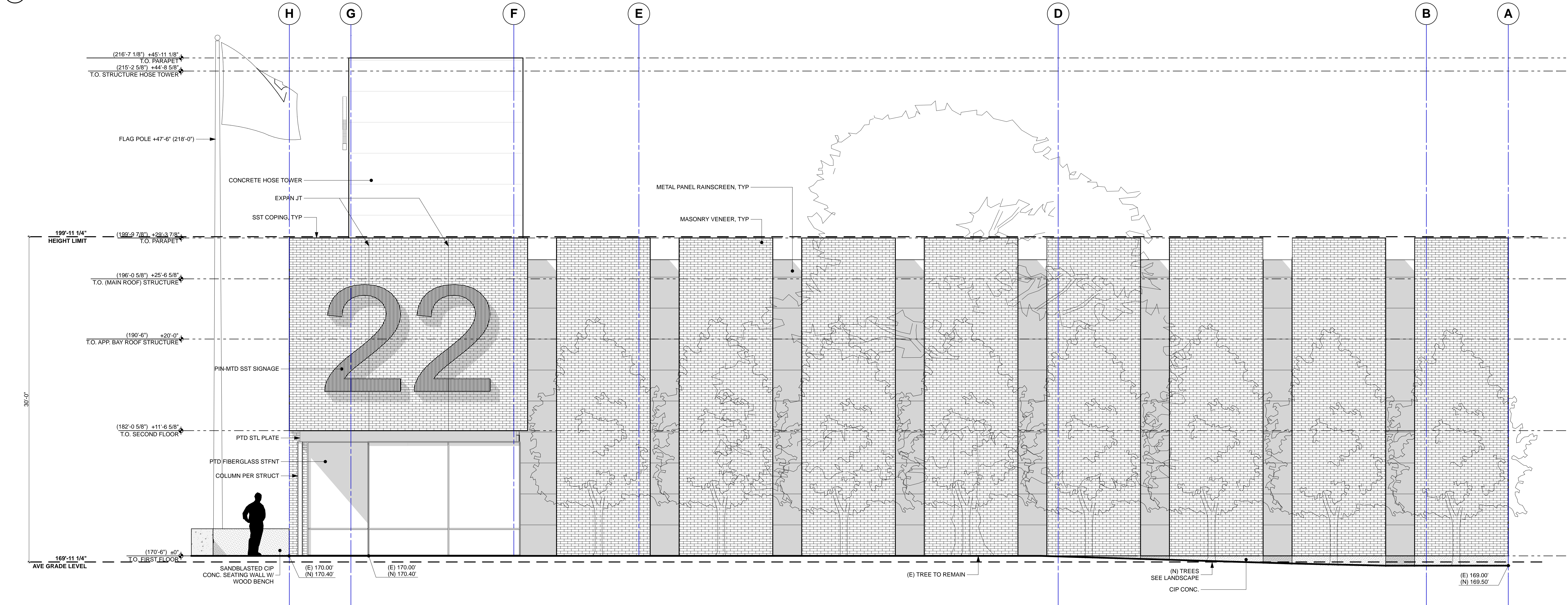
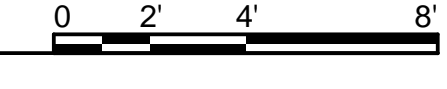


Issue	MUP
Date	12/12/2014
Sheet Title	MAIN ROOF PLAN
Sheet	A103

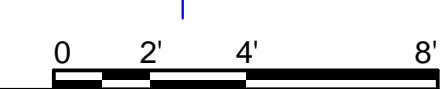
WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



CITY OF SEATTLE

Rev Date Issued

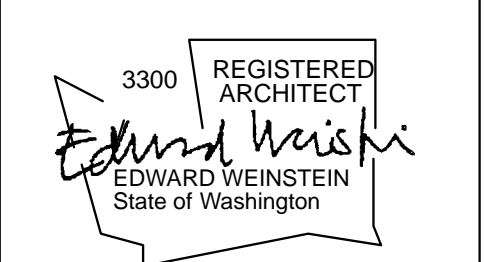
Fire Station 22
Master Use Permit
Submittal

901 E. Roanoke St.
Seattle, WA

Project No. 13004

Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



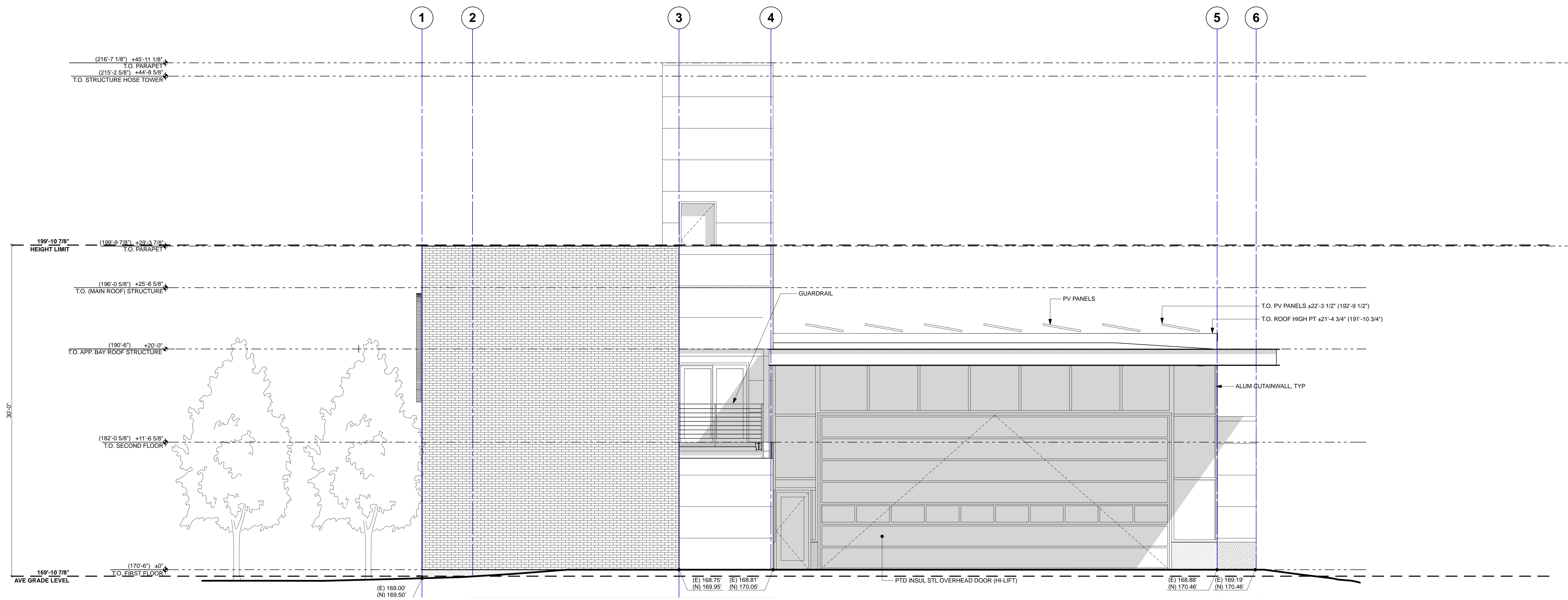
Issue MUP

Date 12/12/2014

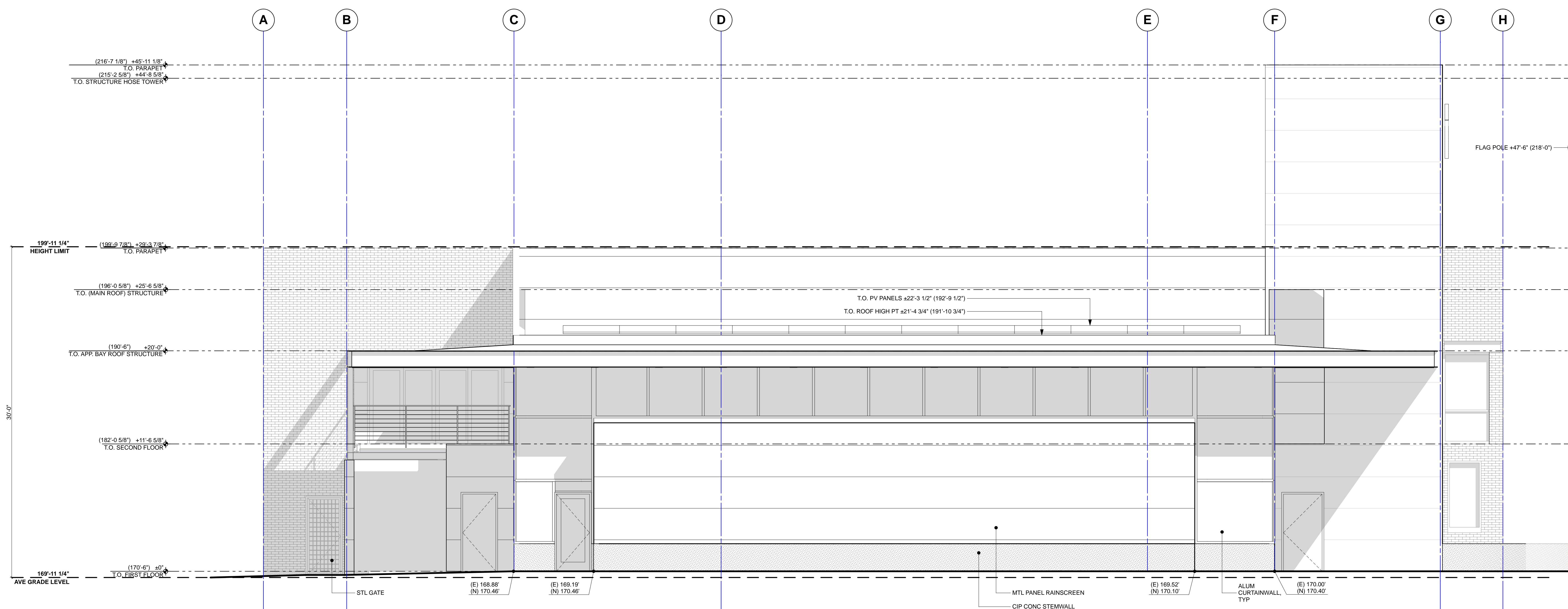
Sheet Title EXTERIOR ELEVATIONS

Sheet A300

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



CITY OF SEATTLE

Rev Date	Issued

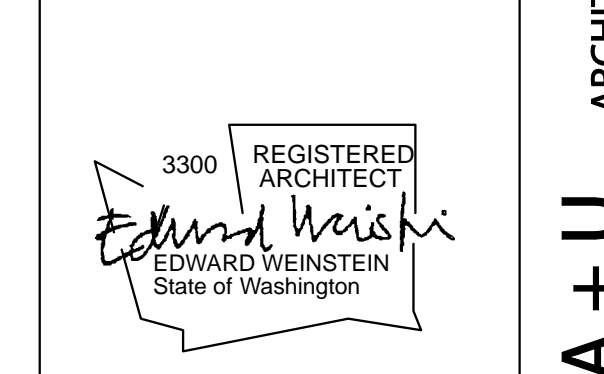
**Fire Station 22
Master Use Permit
Submittal**

901 E. Roanoke St.
Seattle, WA

Project No. 13004

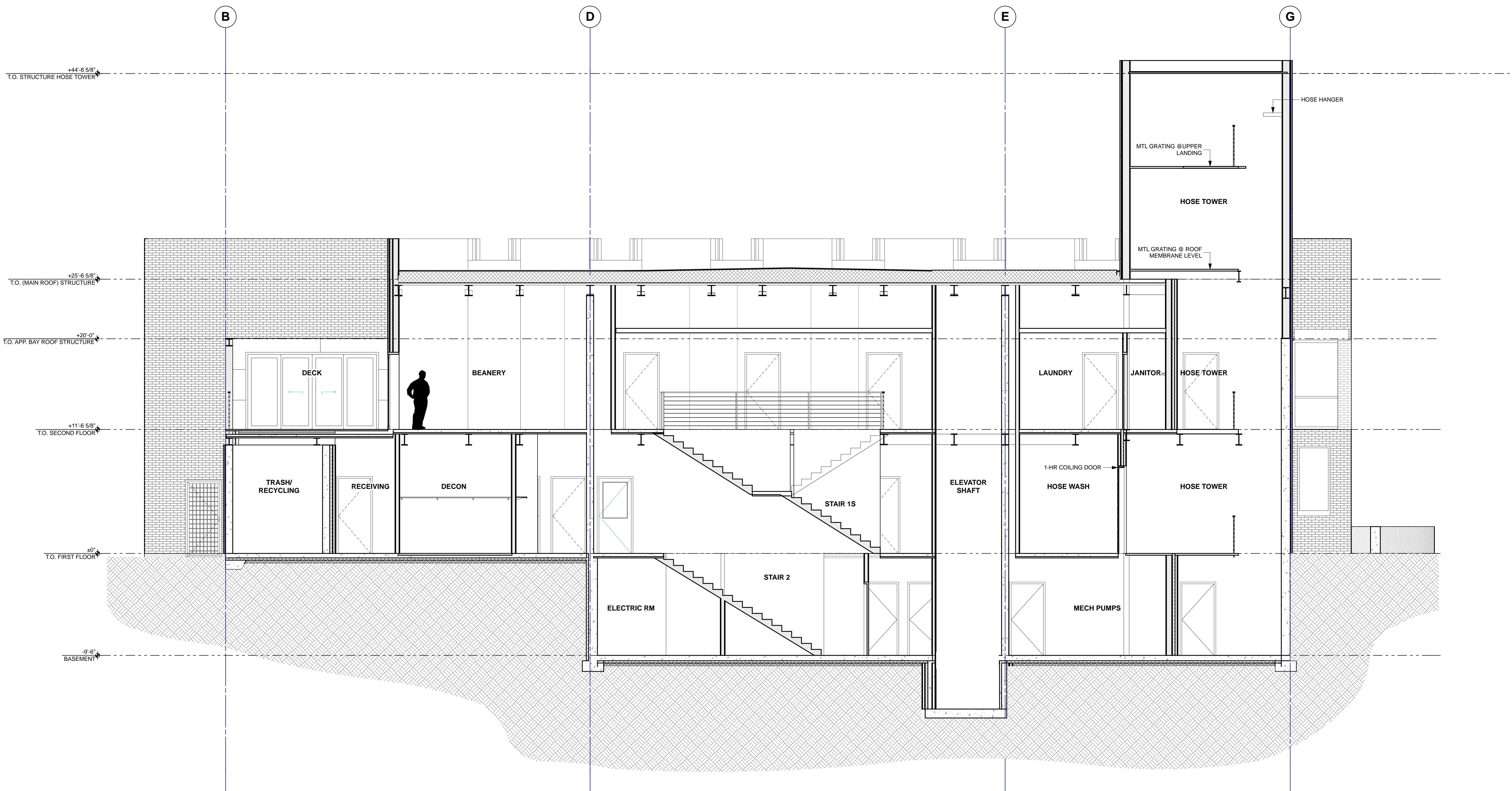
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue	MUP
Date	12/12/2014
Sheet Title	EXTERIOR ELEVATIONS
Sheet	A301

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS



CITY OF SEATTLE

Rev Date Issued

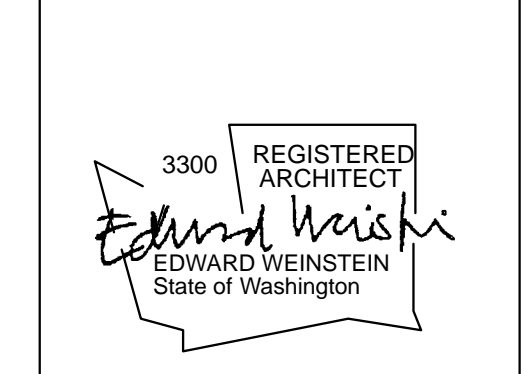
**Fire Station 22
Master Use Permit
Submittal**

901 E. Roanoke St.
Seattle, WA

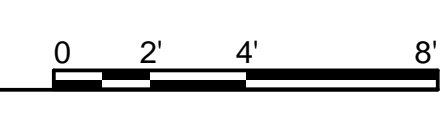
Project No. 13004

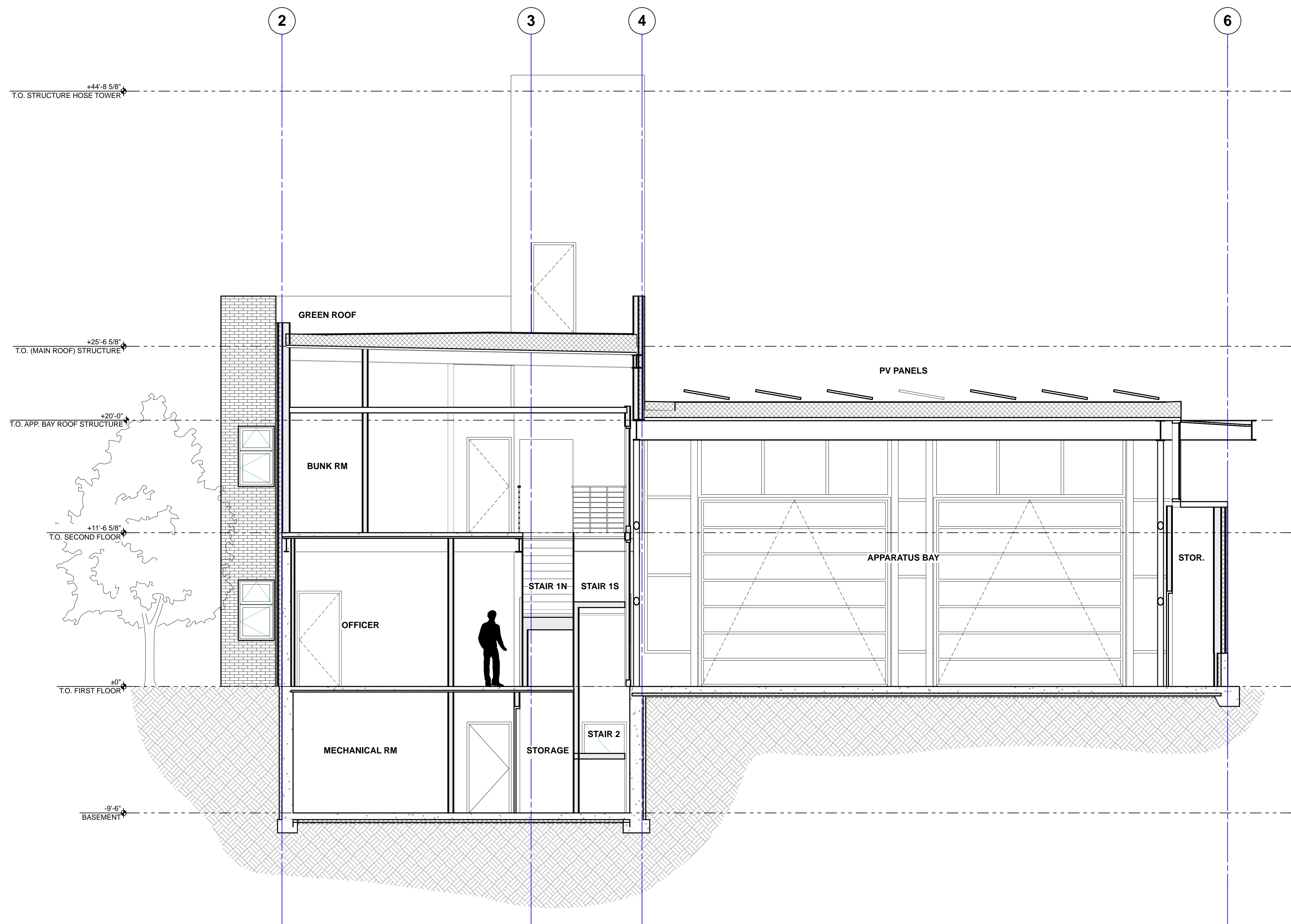
Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein A+U - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue	MUP
Date	12/12/2014
Sheet Title	BUILDING SECTIONS
Sheet	A310





CITY OF SEATTLE

Rev Date Issued

**Fire Station 22
Master Use Permit
Submittal**

901 E. Roanoke St.
Seattle, WA

Project No. 13004

Weinstein A+U
Architects + Urban Designers LLC
121 Stewart Street Suite 200
Seattle, WA 98101-1000
T 206 443 8606
F 206 443 1218
Weinsteinau.com

© 2013 Weinstein AU - These documents have been prepared specifically for the above named project. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect.



Issue	MUP
Date	12/12/2014
Sheet Title	BUILDING SECTIONS
Sheet	A311

WEINSTEIN A+U ARCHITECTS + URBAN DESIGNERS

