

**SUBDIVISION NO. 3034221-LU**

GRANTOR (Owners): BUILD SOUND, LLC CONTACT PERSON:  
MOIRA HAUGHIAN  
2921 EASTLAKE AVE. E.  
SEATTLE, WA 98102  
PH. 206-954-1983

GRANTEE: CITY OF SEATTLE  
KING COUNTY, WASHINGTON

**THE GROVE  
 ADDITION TO THE CITY OF SEATTLE**

**APPROVALS**

**CITY OF SEATTLE, SEATTLE DEPARTMENT OF TRANSPORTATION**

EXAMINED AND APPROVED BY ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
 DIRECTOR OF SEATTLE DEPARTMENT OF TRANSPORTATION

EXAMINED AND APPROVED BY ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
 TRAFFIC ENGINEER

**SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS**

EXAMINED AND APPROVED BY ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
 DIRECTOR OF SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS

**CITY OF SEATTLE, CITY LIGHT DEPARTMENT**

EXAMINED AND APPROVED BY ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
 GENERAL MANAGER AND CHIEF EXECUTIVE OFFICER

**SEATTLE PUBLIC UTILITIES**

EXAMINED AND APPROVED BY ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020.

\_\_\_\_\_  
 DIRECTOR OF SEATTLE PUBLIC UTILITIES

**CITY OF SEATTLE, CITY CLERK**

I HEREBY CERTIFY THAT WITHIN THE PLAT OF VALLEY STREET TOWNHOMES ADDITION TO THE CITY OF SEATTLE WAS DULY APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF SEATTLE BY ORDINANCE NO. \_\_\_\_\_ APPROVED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
 CITY CLERK

**CITY OF SEATTLE, DEPARTMENT OF FINANCE AND ADMINISTRATIVE SERVICES**

I HEREBY CERTIFY THAT THERE ARE NO DELINQUENT ASSESSMENTS, AND ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS, ALLEYS, OR OTHER PUBLIC USE, ARE PAID IN FULL. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
 DIRECTOR, DEPARTMENT OF FINANCE AND ADMINISTRATIVE SERVICES

**KING COUNTY DEPARTMENT OF ASSESSMENTS**

EXAMINED AND APPROVED BY ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020

\_\_\_\_\_  
 KING COUNTY ASSESSOR

\_\_\_\_\_  
 DEPUTY KING COUNTY ASSESSOR

**KING COUNTY COMPTROLLER**

I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID, THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION, AND THAT ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED AS STREETS, ALLEYS, OR OTHER PUBLIC USE, ARE PAID IN FULL. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
 OFFICE OF THE COMPTROLLER  
 TREASURY DIVISION

\_\_\_\_\_  
 MANAGER, FINANCE DIVISION

\_\_\_\_\_  
 DEPUTY

**DECLARATION AND DEDICATION**

KNOW ALL PEOPLE BY THESE PRESENTS, THAT, BUILD SOUND, LLC, A LIMITED LIABILITY COMPANY, ORGANIZED UNDER THE LAWS OF THE STATE OF WASHINGTON, THE OWNER(S) IN FEE SIMPLE OF THE LAND HEREBY PLATTED, HEREBY DECLARES THIS PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SUBDIVISION MADE HEREBY, AND FOR ITSELF OR THEMSELVES AND HEIRS, SUCCESSORS AND ASSIGNS DOES HEREBY DEDICATE AND GRANT THE SEATTLE CITY LIGHT EASEMENT TO THE CITY OF SEATTLE UNDER, OVER AND UPON THOSE PORTIONS OF THE PLAT AND FOR THE PURPOSES DESCRIBED IN THE EASEMENT PROVISIONS ON SHEET 2 OF 6.

FURTHER, THE UNDERSIGNED OWNER OF THE LAND HEREBY SUBDIVIDED AGREES FOR ITSELF, ITS HEIRS, SUCCESSORS AND ASSIGNS TO INDEMNIFY AND HOLD THE CITY OF SEATTLE, ITS SUCCESSORS AND ASSIGNS, HARMLESS FROM ANY DAMAGE, INCLUDING COSTS OF DEFENSE, CLAIMED BY PERSONS WITHIN OR WITHOUT THIS SUBDIVISION TO HAVE BEEN CAUSED BY ALTERATIONS OF THE GROUND SURFACE, VEGETATION, DRAINAGE OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION; PROVIDED, HOWEVER, THAT THIS WAIVER AND INDEMNIFICATION SHALL NOT BE CONSTRUED AS RELEASING FROM LIABILITY FOR DAMAGES, INCLUDING COST OF DEFENSE, RESULTING IN WHOLE OR IN PART FROM THE NEGLIGENCE OF THE CITY OF SEATTLE, ITS SUCCESSORS, OR ASSIGNS.

THIS DEDICATION AND DECLARATION, WITH INDEMNITY, IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S).

IN WITNESS WHEREOF WE SET OUR HANDS AND SEALS.

BUILD SOUND, LLC A WASHINGTON LIMITED LIABILITY COMPANY

BY: \_\_\_\_\_  
 ROB McVICARS, MANAGING MEMBER

**ACKNOWLEDGEMENT**

STATE OF WASHINGTON )  
 ) SS.  
 COUNTY OF KING )

THIS IS TO CERTIFY THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, CAME ROB McVICARS, PERSONALLY KNOWN OR HAVING PRESENTED SATISFACTORY EVIDENCE TO BE MANAGING MEMBER OF BUILD SOUND, LLC, A WASHINGTON LIMITED LIABILITY COMPANY THAT EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID LIMITED LIABILITY COMPANY FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE IS AUTHORIZED TO EXECUTE THE SAID INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

PRINT NAME: \_\_\_\_\_  
 NOTARY PUBLIC IN AND FOR THE  
 STATE OF WASHINGTON, RESIDING AT \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_

**UNIT SUBDIVISION NOTE**

THE UNIT LOTS CREATED BY UNIT LOT SUBDIVISION ARE NOT SEPARATE BUILDABLE LOTS. ADDITIONAL DEVELOPMENT ON ANY INDIVIDUAL UNIT LOT IN THIS UNIT LOT SUBDIVISION MAY BE LIMITED AS A RESULT OF THE APPLICATION OF DEVELOPMENT STANDARDS TO THE PARENT LOT PURSUANT TO APPLICABLE PROVISIONS OF THE SEATTLE LAND USE CODE.

THIS SUBDIVISION HAS UNIT LOT BOUNDARIES WHICH ARE BASED ON THE LOCATION OF RESIDENTIAL DEVELOPMENT AS PROPOSED ON PERMIT APPLICATION NUMBER 6721818-CN FILED AT THE CITY OF SEATTLE, SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS. THIS DEVELOPMENT MAY INCLUDE STRUCTURES THAT MAY CROSS UNIT LOT LINES AND MAY HAVE OTHER DEVELOPMENT ASPECTS OF COMMON INTEREST TO UNIT LOT OWNERS.

AN EASEMENT HAS BEEN GRANTED TO SEATTLE CITY LIGHT AS SHOWN ON PAGE 2 OF 6.

**DEPARTMENT OF RECORDS AND ELECTIONS**

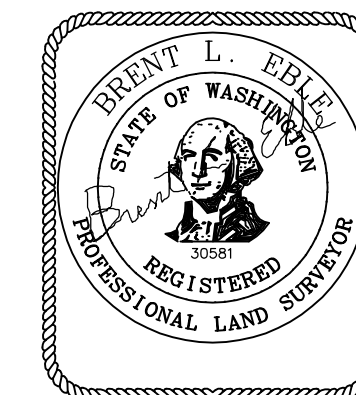
FILED FOR RECORD AT THE REQUEST OF THE DIRECTOR OF SEATTLE TRANSPORTATION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020, AT \_\_\_\_\_ MINUTES PAST \_\_\_\_\_ M, AND RECORDED IN VOLUME \_\_\_\_\_ OF PLATS, PAGE \_\_\_\_\_, RECORDS OF KING COUNTY, WASHINGTON.

\_\_\_\_\_  
 MANAGER

\_\_\_\_\_  
 SUPERINTENDENT OF RECORDS

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAT OF THE GROVE ADDITION TO THE CITY OF SEATTLE IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF BLOCK 1, KITTINGERS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON; THAT THE BEARINGS AND DISTANCES ARE CORRECTLY SHOWN; THAT THE MONUMENTS WILL BE SET AND THE LOT AND BLOCK CORNERS WILL BE STAKED CORRECTLY UPON THE GROUND AT THE COMPLETION OF THE PROJECT, AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF THE STATUTES AND PLATTING REGULATIONS.



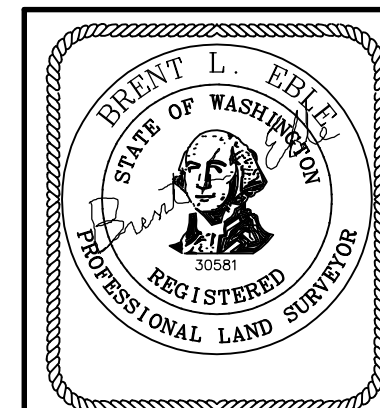
\_\_\_\_\_  
 BRENT L. EBLE  
 PROFESSIONAL LAND SURVEYOR  
 CERTIFICATE NO. 30581  
 EMERALD LAND SURVEYING INC.  
 PO BOX 13694  
 MILL CREEK, WA 98082  
 PH. 425-359-7198

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
 PH. (425) 359-7198  
 Email: emeraldpls@aol.com

SURVEY IN S.W. 1/4, S.E. 1/4,  
 SEC. 27, T. 24N., R. 4E.

DWN. BY: HMM	DATE: 3/24/20	JOB NO. 19717
CHK. BY: EBLE	SCALE: 1" = 20'	SHEET 1 OF 6



**RECORD OF SURVEY**

Build Urban, LLC  
 7508 43rd Avenue South  
 Seattle, WA 98118

**SUBDIVISION NO. 3034221-LU**

**THE GROVE  
ADDITION TO THE CITY OF SEATTLE**

**LEGAL DESCRIPTION (PARENT LOT)**

THE WEST 130.6 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON, AS MEASURED ALONG THE NORTH LINE OF SAID LOT 6 THEREOF;

EXCEPT THE NORTH 50 FEET THEREOF.

APN 390410-0040

**JOINT USE/MAINTENANCE AGREEMENT**

WITNESSETH: THAT FOR AND IN CONSIDERATION OF THE MUTUAL COVENANTS HEREIN EXPRESSED, IT IS HEREBY AGREED BETWEEN ALL PARTIES HAVING OWNERSHIP INCLUSIVE TO THIS CITY OF SEATTLE SUBDIVISION THAT:

1) EACH OWNER IS RESPONSIBLE FOR THE MAINTENANCE REPAIR AND WELL KEEPING OF THEIR INDIVIDUAL TOWNHOME. EACH OWNER SHALL KEEP THEIR TOWNHOME AND PROPERTY IN GOOD STATE OF REPAIR, AND WILL KEEP THE WALKWAYS (PERMANENT EASEMENTS FOR PEDESTRIAN ACCESS AND UTILITIES) CLEAR AT ALL TIMES. EASEMENTS HAVE BEEN GRANTED AND ARE PART OF THIS SUBDIVISION FOR WALKING ACCESS, COMMON AMENITIES, STREET ENTRY AND BICYCLE PARKING IN DESIGNATED AREAS. ALL OWNERS HAVING LEGAL ACCESS FROM SAID EASEMENTS ARE TO SHARE EQUALLY IN THE MAINTENANCE AND REPAIR OF THE EASEMENT AREAS. LANDSCAPE MAINTENANCE IS THE RESPONSIBILITY OF THE INDIVIDUAL UNIT LOT OWNER(S), BUT IT IS EXPECTED THAT ALL USERS OF THE ACCESS EASEMENTS WILL DO SO WITH CARE AND RESPECT FOR THE APPEARANCES OF THE WALKWAYS.

2) THE OWNER(S) OF EACH UNIT LOT SHALL MAINTAIN THE ROOF ON THE TOWNHOME ON THAT OWNER'S UNIT LOT, INCLUDING THAT PORTION OF THE ROOF OF THAT TOWNHOME WHICH EXTENDS ACROSS THE UNIT LOT LINE ONTO AN ADJOINING UNIT LOT, AND EACH SUCH OWNER(S) IS GRANTED AN EASEMENT OVER AND ACROSS THE ADJOINING UNIT LOT FOR SUCH MAINTENANCE. IN THE EVENT THAT PROPERTY OWNER(S) INTEND TO REPAIR OR REPLACE THEIR ROOF, IT IS HEREBY AGREED THAT THE MATERIALS WILL BE SIMILAR IN TYPE, QUALITY AND COLOR OF THE ORIGINAL ROOF, UNLESS MUTUALLY AGREED UPON. THE COST OF SUCH REPAIR IS THE SOLE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER(S) MAKING THE ROOF REPAIR OR REPLACEMENT. HOWEVER, IN THE EVENT OF A TOTAL ROOF REPLACEMENT FOR A BUILDING WITHIN THIS SUBDIVISION, THE COSTS WILL BE SHARED EQUITABLY IN BETWEEN THE PROPERTY OWNER(S) IN PROPORTION WITH EACH OWNER(S) AREA OF ROOF ON THAT BUILDING. SUCH A ROOF REPLACEMENT WILL BE REQUIRED EVERY 25 YEARS (OR AS WARRANTED BY THE ROOFING MATERIAL MANUFACTURER).

3) THE OWNER'S OF EACH UNIT LOT SHALL MAINTAIN THE SHARED WALL, SIDING AND EXTERIOR TRIM ON THE TOWNHOME ON THAT OWNER'S UNIT LOT, INCLUDING THAT PORTION THAT EXTENDS ACROSS THE UNIT LOT LINE ONTO AN ADJOINING UNIT LOT, AND EACH SUCH OWNER IS GRANTED AND EASEMENT OVER AND ACROSS THE ADJOINING UNIT LOT FOR SUCH MAINTENANCE. SHARED WALL, SIDING AND EXTERIOR TRIM SHALL BE CARED FOR AND MAINTAINED BY THE OWNER(S) OF THE PROPERTY UPON WHICH THE SHARED WALLS, SIDING AND EXTERIOR TRIM IS LOCATED. IN THE EVENT A PROPERTY OWNER INTENDS TO REPAIR OR REPLACE THEIR SHARED WALLS, SIDING AND EXTERIOR TRIM, IT IS HEREBY AGREED THAT THE MATERIALS WILL BE SIMILAR IN TYPE, QUALITY AND COLOR OF THE ORIGINAL WALLS, SIDING AND EXTERIOR TRIM, UNLESS MUTUALLY AGREED UPON. THE COST OF SUCH REPAIR OR REPLACEMENT IS THE SOLE RESPONSIBILITY OF THE OWNER(S) MAKING THE WALLS, SIDING AND EXTERIOR TRIM REPAIR OR REPLACEMENT. HOWEVER, IN THE EVENT OF A TOTAL WALL, SIDING AND/OR EXTERIOR TRIM REPLACEMENT FOR A BUILDING WITHIN THIS SUBDIVISION, COSTS WILL BE SHARED EQUITABLY BETWEEN THE PROPERTY OWNER(S) IN PROPORTION WITH EACH OWNER(S) AREA OF WALLS, SIDING AND EXTERIOR TRIM ON THAT BUILDING.

4) EACH OWNER SHALL SHARE EQUALLY IN THE COSTS FOR MAINTENANCE AND REPAIR OF THE COMMON DRAINAGE AND SIDE SEWER FACILITIES.

5) EACH OWNER HAVING LEGAL USE AND BENEFIT FROM THE MAILBOXES AND ADDRESS SIGNS SHALL SHARE EQUALLY IN THE COSTS FOR THEIR MAINTENANCE AND REPAIR.

6) THIS AGREEMENT SHALL BE A COVENANT RUNNING WITH THE LAND, AND SHALL BE BINDING UPON ALL AFOREMENTIONED PARTY(S) AND THEIR HEIRS, ASSIGNS AND SUCCESSORS FOREVER.

STANDARD CITY LIGHT EASEMENT

CITY OF SEATTLE LAND USE ACTION NO. 3034221-LU  
EASEMENT (Overhead and Underground)  
King County Assessor/s Tax Parcel No. 390410-0040

THE OWNER OF THE REAL PROPERTY THAT IS THE SUBJECT OF THIS LAND USE ACTION ("Grantor") hereby grants to THE CITY OF SEATTLE ("Grantee") and the right, privilege and authority (an "Easement") to install, construct, erect, reconstruct, alter, improve, remove, repair, replace, energize, operate, and maintain overhead and underground electric distribution facilities, which may consist of, but are not limited to: poles with braces, guy wires and anchors, cross arms, transformers, ducts, vaults, manholes, switches, cabinets, containers, conduits, wires and other convenient appurtenances necessary to make said overhead and underground distribution facilities an integrated electric system ("Electric System"). All such Electric System shall be located across, over, upon and under the real property described within this land use action ("Property") situated in the County of King, State of Washington, and more particularly described as follows:

An easement over the entire area of this City of Seattle Subdivision No. 3034221-LU; EXCEPT any portion thereof occupied by proposed buildings shown on said subdivision.

Together with Grantee's and its assigns' unrestricted right of access to and from the Property for the purposes of exercising its rights granted herein.

Together with Grantee's and its assigns' right to cut and trim brush, trees or other plants standing or growing upon the Property which, in the opinion of the Grantee, interfere with the maintenance or operation of, or constitute a menace or danger to, the Electric System.

Grantor, its successors and assigns, covenants and agrees that no structure or fire hazards will be built or permitted within the easement area(s) described above; that no digging will be done or permitted within the Property which will in any manner disturb Grantee's Electric System or its solidity or unearth any portion thereof; and that no blasting or discharge of any explosives will be permitted within fifty (50) feet of the Electric System.

The City of Seattle shall be responsible, as provided by law, for any damage to the Grantor through its negligence in the construction, maintenance and operation of the Electric System.

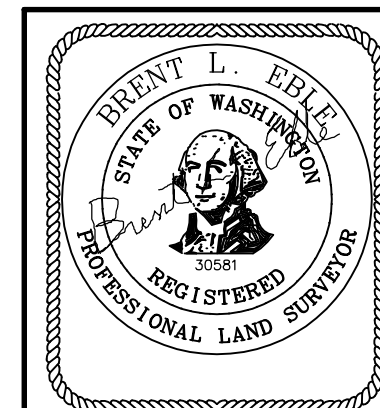
The rights, title, privileges and authority hereby granted shall continue and be in force until the Grantee permanently removes its Electric System from the Property or permanently abandons the Electric System, at which time all such rights, title, privileges and authority hereby granted shall terminate.

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
PH. (425) 359-7198  
Email: emeraldpls@aol.com

SURVEY IN S.W. 1/4, S.E. 1/4,  
SEC. 27, T. 24N., R. 4E.

DWN. BY: HMM	DATE: 3/24/20	JOB NO. 19717
CHK. BY: EBLE	SCALE: 1" = 20'	SHEET 2 OF 6



**RECORD OF SURVEY**

Build Urban, LLC  
7508 43rd Avenue South  
Seattle, WA 98118

**SUBDIVISION NO. 3034221-LU**

**THE GROVE  
ADDITION TO THE CITY OF SEATTLE**

**PEDESTRIAN ACCESS, BICYCLE PARKING,  
WASTE/RECYCLE STORAGE AREA EASEMENT**

EACH UNIT LOT IN THIS SUBDIVISION IS SUBJECT TO AND IS BENEFITTED BY AN EASEMENT FOR PEDESTRIAN ACCESS, BICYCLE PARKING, WASTE/RECYCLE STORAGE AREA OVER AND ACROSS THAT PORTION OF THE WEST 130.6 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON, AS MEASURED ALONG THE NORTH LINE OF SAID LOT 6 THEREOF, EXCEPT THE NORTH 50 FEET THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;  
THENCE N 11°03'14" W ALONG THE WEST MARGIN OF SAID LOT 6, 99.19 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE N 89°39'39" E, 42.10 FEET;  
THENCE S 00°20'21" E, 13.25 FEET;  
THENCE N 89°39'39" E, 2.50 FEET;  
THENCE S 00°20'21" E, 13.58 FEET;  
THENCE N 89°39'39" E, 2.50 FEET;  
THENCE S 00°20'21" E, 11.58 FEET;  
THENCE N 89°39'39" E, 7.80 FEET;  
THENCE N 00°20'21" W, 2.92 FEET;  
THENCE N 89°39'39" E, 9.27 FEET;  
THENCE N 00°20'21" W, 1.50 FEET;  
THENCE S 89°39'39" W, 0.46 FEET;  
THENCE N 00°20'21" W, 31.50 FEET;  
THENCE N 89°39'39" E, 12.42 FEET;  
THENCE N 00°20'21" W, 2.50 FEET;  
THENCE N 89°39'39" E, 25.00 FEET;  
THENCE N 00°20'21" W, 5.00 FEET TO THE SOUTH MARGIN OF SAID NORTH 50 FEET OF LOT 6 THEREOF;  
THENCE S 89°39'51" W ALONG SAID MARGIN, 102.07 FEET TO THE WEST MARGIN OF SAID LOT 6 THEREOF;  
THENCE S 11°03'14" E ALONG SAID MARGIN, 5.09 FEET TO THE TRUE POINT OF BEGINNING;

THIS EASEMENT, AND THE RIGHTS AND RESPONSIBILITIES REGARDING THIS EASEMENT, ARE MORE PARTICULARLY DESCRIBED IN SECTION X.X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXXXXXX.

(THIS EASEMENT IS DEPICTED ON SHEET 6 OF THIS SUBDIVISION.)

**PEDESTRIAN ACCESS EASEMENT**

EACH UNIT LOT IN THIS SUBDIVISION IS SUBJECT TO AND IS BENEFITTED BY AN EASEMENT FOR PEDESTRIAN ACCESS OVER AND ACROSS THAT PORTION OF THE WEST 130.6 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON, AS MEASURED ALONG THE NORTH LINE OF SAID LOT 6 THEREOF, EXCEPT THE NORTH 50 FEET THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;  
THENCE N 11°03'14" W ALONG THE WEST MARGIN OF SAID LOT 6, 46.73 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE N 89°39'39" E, 37.34 FEET;  
THENCE N 00°20'21" W, 10.62 FEET;  
THENCE S 89°39'39" W, 39.36 FEET TO THE WEST MARGIN OF SAID LOT 6 THEREOF;  
THENCE S 11°03'14" E ALONG SAID MARGIN, 10.81 FEET TO THE TRUE POINT OF BEGINNING;

THIS EASEMENT, AND THE RIGHTS AND RESPONSIBILITIES REGARDING THIS EASEMENT, ARE MORE PARTICULARLY DESCRIBED IN SECTION X.X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXXXXXX.

(THIS EASEMENT IS DEPICTED ON SHEET 6 OF THIS SUBDIVISION.)

**COMMON AMENITY EASEMENT**

EACH UNIT LOT IN THIS SUBDIVISION IS SUBJECT TO AND IS BENEFITTED BY AN EASEMENT FOR PEDESTRIAN ACCESS AND COMMON AMENITY USE OVER AND ACROSS THAT PORTION OF THE WEST 130.6 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON, AS MEASURED ALONG THE NORTH LINE OF SAID LOT 6 THEREOF, EXCEPT THE NORTH 50 FEET THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;  
THENCE N 11°03'14" W ALONG THE WEST MARGIN OF SAID LOT 6, 5.09 FEET;  
THENCE N 89°39'39" E, 39.09 FEET;  
THENCE N 00°20'21" W, 14.08 FEET;  
THENCE S 89°39'39" W, 2.50 FEET;  
THENCE N 00°20'21" W, 13.58 FEET;  
THENCE S 89°39'39" W, 2.50 FEET;  
THENCE N 00°20'21" W, 6.33 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE N 00°20'21" W, 6.92 FEET;  
THENCE S 89°39'39" W, 4.49 FEET;  
THENCE N 00°20'21" W, 13.12 FEET;  
THENCE N 89°39'39" E, 7.80 FEET;  
THENCE N 00°20'21" W, 2.92 FEET;  
THENCE N 89°39'39" E, 9.27 FEET;  
THENCE S 00°20'21" E, 2.50 FEET;  
THENCE N 89°39'39" E, 11.67 FEET;  
THENCE N 00°20'21" W, 2.50 FEET;  
THENCE N 89°39'39" E, 25.29 FEET;  
THENCE S 00°20'21" E, 6.98 FEET;  
THENCE N 89°39'39" E, 1.17 FEET;  
THENCE S 00°20'21" E, 14.48 FEET;  
THENCE S 89°39'39" W, 20.85 FEET;  
THENCE N 00°20'21" W, 2.50 FEET;  
THENCE S 89°39'39" W, 15.94 FEET;  
THENCE S 00°20'21" E, 4.00 FEET;  
THENCE S 89°39'39" W, 13.92 FEET TO THE TRUE POINT OF BEGINNING;

THIS EASEMENT, AND THE RIGHTS AND RESPONSIBILITIES REGARDING THIS EASEMENT, ARE MORE PARTICULARLY DESCRIBED IN SECTION X.X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXXXXXX.

(THIS EASEMENT IS DEPICTED ON SHEET 6 OF THIS SUBDIVISION.)

**PEDESTRIAN ACCESS AND WASTE/RECYCLE  
STORAGE AREA EASEMENT**

EACH UNIT LOT IN THIS SUBDIVISION IS SUBJECT TO AND IS BENEFITTED BY AN EASEMENT FOR PEDESTRIAN ACCESS AND WASTE/RECYCLE STORAGE AREA OVER AND ACROSS THAT PORTION OF THE WEST 130.6 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON, AS MEASURED ALONG THE NORTH LINE OF SAID LOT 6 THEREOF, EXCEPT THE NORTH 50 FEET THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;  
THENCE N 11°03'14" W ALONG THE WEST MARGIN OF SAID LOT 6, 5.09 FEET;  
THENCE N 89°39'39" E, 39.09 FEET;  
THENCE N 00°20'21" W, 14.08 FEET;  
THENCE S 89°39'39" W, 2.50 FEET;  
THENCE N 00°20'21" W, 13.58 FEET;  
THENCE S 89°39'39" W, 2.50 FEET;  
THENCE N 00°20'21" W, 6.33 FEET;  
THENCE N 89°39'39" E, 13.46 FEET;  
THENCE S 00°20'21" E, 31.50 FEET;  
THENCE N 89°39'39" E, 12.42 FEET;  
THENCE S 00°20'21" E, 2.50 FEET;  
THENCE N 89°39'39" E, 25.00 FEET;  
THENCE S 00°20'21" E, 5.00 FEET TO THE SOUTH MARGIN OF SAID LOT 6 THEREOF;  
THENCE S 89°39'39" W ALONG SAID MARGIN, 84.02 FEET TO THE POINT OF BEGINNING;

THIS EASEMENT, AND THE RIGHTS AND RESPONSIBILITIES REGARDING THIS EASEMENT, ARE MORE PARTICULARLY DESCRIBED IN SECTION X.X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXXXXXX.

(THIS EASEMENT IS DEPICTED ON SHEET 6 OF THIS SUBDIVISION.)

**ADDRESS SIGN AND SIGN  
MAINTENANCE EASEMENTS**

UNIT LOT A OF THIS SUBDIVISION IS SUBJECT TO AN ADDRESS SIGN AND SIGN MAINTENANCE FOR THE BENEFIT OF UNIT LOTS K, L, M AND N OF SAID SUBDIVISION OVER AND ACROSS THE NORTH 2.00 FEET OF THE WEST 2.00 FEET OF SAID UNIT LOT A THEREOF;

THIS EASEMENT, AND THE RIGHTS AND RESPONSIBILITIES REGARDING THIS EASEMENT, ARE MORE PARTICULARLY DESCRIBED IN SECTION X.X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXXXXXX.

(THIS EASEMENT IS DEPICTED ON SHEET 5 OF THIS SUBDIVISION.)

UNIT LOT F OF THIS SUBDIVISION IS SUBJECT TO AN ADDRESS SIGN AND SIGN MAINTENANCE FOR THE BENEFIT OF UNIT LOTS G, H, I AND J OF SAID SUBDIVISION OVER AND ACROSS THE SOUTH 2.00 FEET OF THE WEST 2.00 FEET OF SAID UNIT LOT F THEREOF;

THIS EASEMENT, AND THE RIGHTS AND RESPONSIBILITIES REGARDING THIS EASEMENT, ARE MORE PARTICULARLY DESCRIBED IN SECTION X.X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXXXXXX.

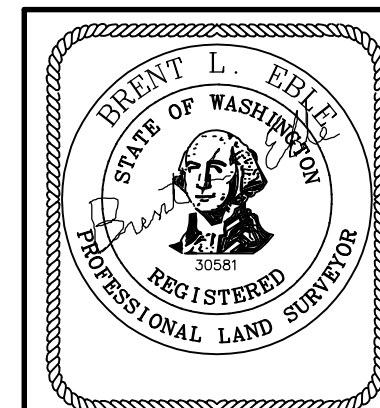
(THIS EASEMENT IS DEPICTED ON SHEET 5 OF THIS SUBDIVISION.)

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
PH. (425) 359-7198  
Email: emeraldpls@aol.com

SURVEY IN S.W. 1/4, S.E. 1/4,  
SEC. 27, T. 24N., R. 4E.

DWN. BY: HMM	DATE: 3/24/20	JOB NO. 19717
CHK. BY: EBLE	SCALE: 1" = 20'	SHEET 3 OF 6

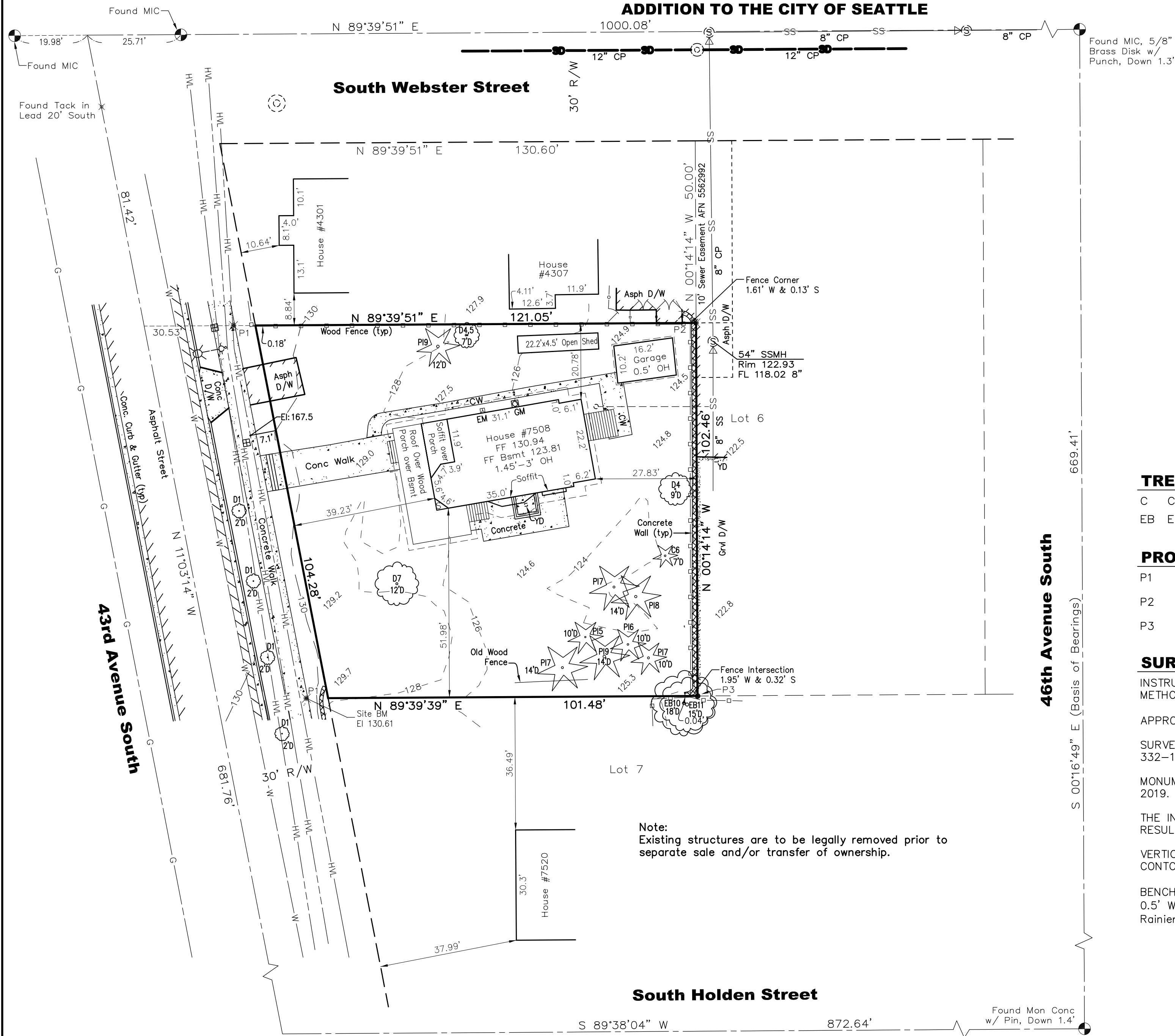


**RECORD OF SURVEY**

Build Urban, LLC  
7508 43rd Avenue South  
Seattle, WA 98118

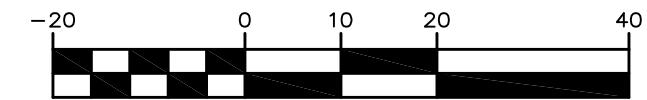
**SUBDIVISION NO. 3034221-LU**

**THE GROVE  
ADDITION TO THE CITY OF SEATTLE**



**MERIDIAN  
CITY OF SEATTLE**

**GRAPHIC SCALE**



(IN FEET)  
1 inch = 20 ft.

**TREE DESCRIPTIONS**

C Cedar (Cedrus) D Deciduous D Pine (Pinus)  
EB European Birch (Betula pendula)

**PROPERTY CORNERS**

- P1 Set Tack in Lead w/ Tag, LS 30581, 6' Offset
- P2 Set Mag w/ Tag, LS 30581
- P3 Set Rebar & Cap, LS 30581

**SURVEY NOTES**

INSTRUMENT USED: TRIMBLE S7 EDM  
METHOD USED: FIELD TRAVERSE

APPROXIMATE POINT ACCURACY: ±0.05'

SURVEY MEETS OR EXCEEDS STATE STANDARDS PER WAC 332-130-090.

MONUMENTS SHOWN HEREON WERE VISITED ON JANUARY 29, 2019.

THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE.

VERTICAL DATUM - NAVD 88  
CONTOUR INTERVAL - 2 FEET

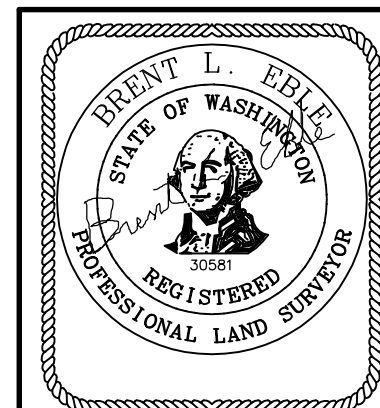
BENCH MARK: POINT NAME: SNV-2522 "Brass Cap, 10' S & 0.5' W of int bkcv in the SE cor int of S Wildwood Ln & Rainier Ave S" Elev: 50.924.

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
PH. (425) 359-7198  
Email: emeraldpls@aol.com

SURVEY IN S.W. 1/4, S.E. 1/4,  
SEC. 27, T. 24N., R. 4E.

DWN. BY: HMM	DATE: 3/24/20	JOB NO. 19717
CHK. BY: EBLE	SCALE: 1" = 20'	SHEET 4 OF 6



**RECORD OF SURVEY**

Build Urban, LLC  
7508 43rd Avenue South  
Seattle, WA 98118

**SUBDIVISION NO. 3034221-LU**

**THE GROVE  
ADDITION TO THE CITY OF SEATTLE**

2'x2' Address Sign and Sign Maintenance Easement #1

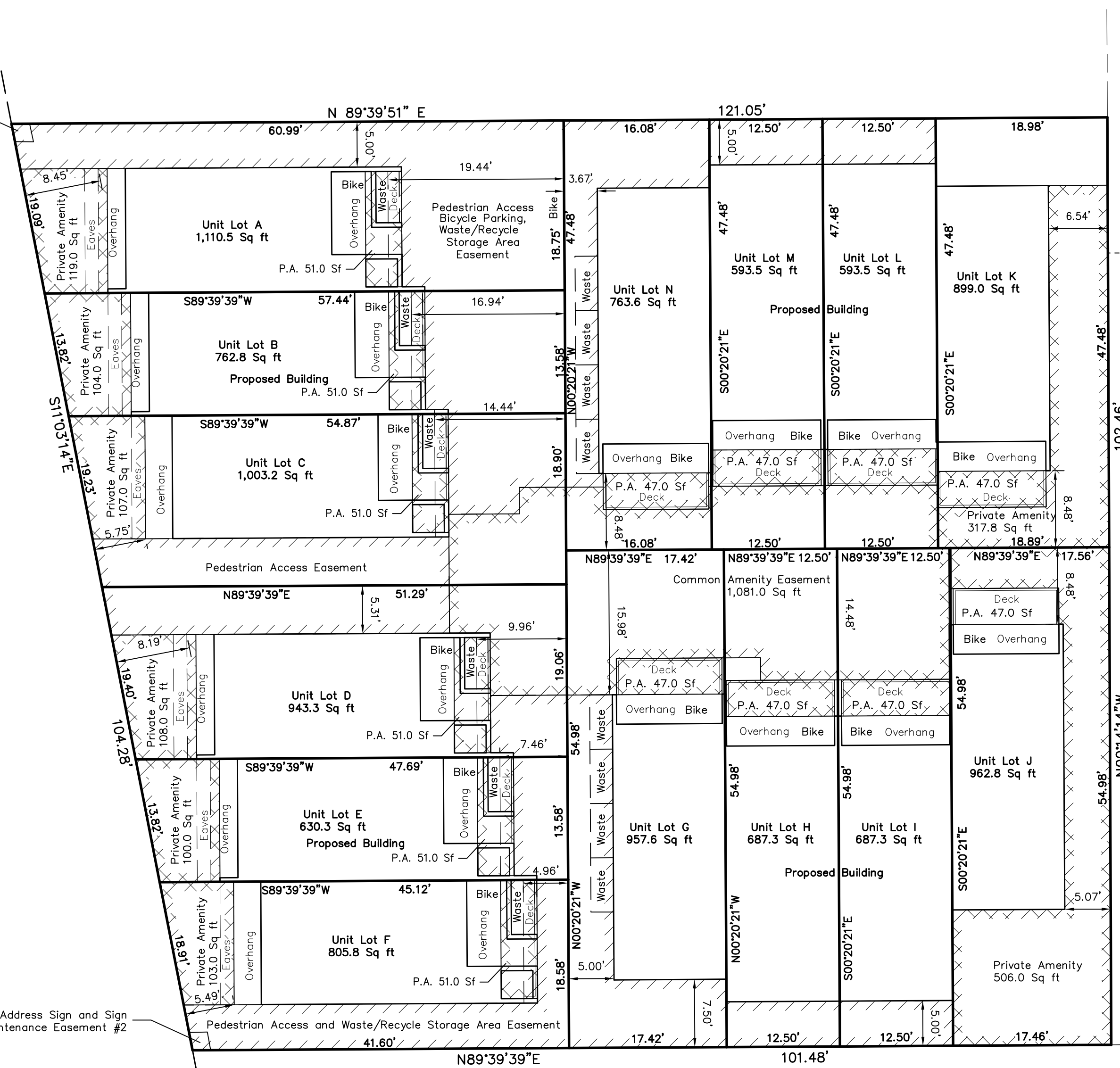
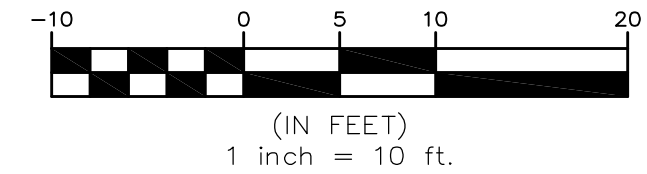
**43rd Avenue South**

2'x2' Address Sign and Sign Maintenance Easement #2

10' Sewer Easement AFN 5562992

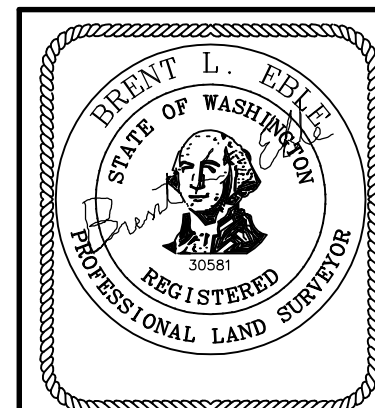
**MERIDIAN  
CITY OF SEATTLE**

**GRAPHIC SCALE**



**UTILITY EASEMENT**

A UTILITY EASEMENT HAS BEEN GRANTED FOR THE BENEFIT OF UNIT LOTS WITHIN THIS UNIT LOT SUBDIVISION OVER, UNDER AND ACROSS THE WHOLE PARENT PARCEL. THIS EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND WATERLINES, POWER, GAS, TELEPHONE, TELECABLE, SANITARY SEWER AND STORM SEWER, AND FOR BUILDING REPAIR, MAINTENANCE AND EMERGENCY ACCESS.



**RECORD OF SURVEY**

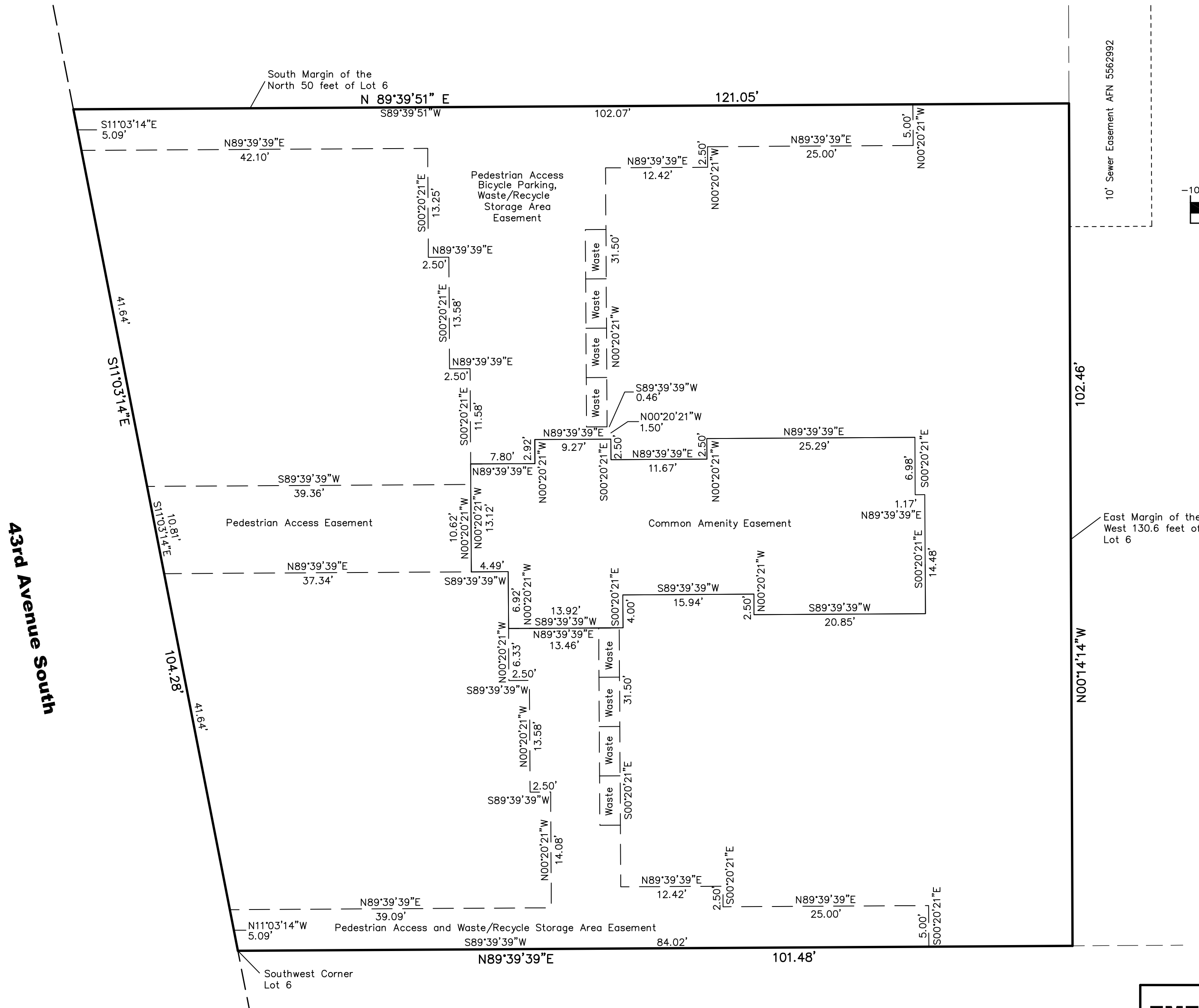
Build Urban, LLC  
7508 43rd Avenue South  
Seattle, WA 98118

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
PH. (425) 359-7198  
Email: emeraldpls@aol.com

SURVEY IN S.W. 1/4, S.E. 1/4,  
SEC. 27, T. 24N., R. 4E.

DWN. BY: HMM	DATE: 3/24/20	JOB NO. 19717
CHK. BY: EBLE	SCALE: 1" = 10'	SHEET 5 OF 6



10' Sewer Easement AFN 5562992

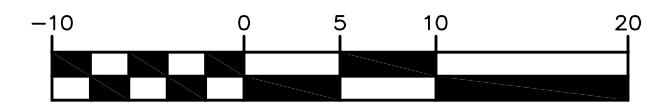
102.46'

100'14'14\"W



**MERIDIAN  
CITY OF SEATTLE**

**GRAPHIC SCALE**



(IN FEET)  
1 inch = 10 ft.

**NOTE**

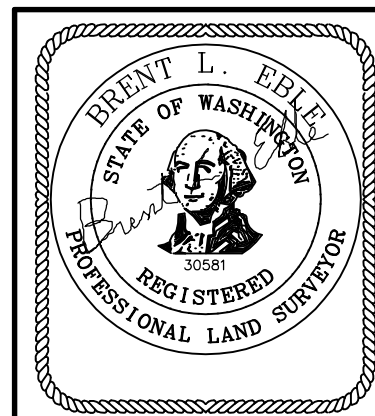
THE LEGAL DESCRIPTIONS OF THE EASEMENTS SHOWN ON THIS SHEET ARE CONTAINED ON SHEET 3 OF THIS SUBDIVISION. SEE ALSO ARTICLE X OF THE DECLARATION OF COVENANTS AND EASEMENTS RECORDED UNDER KING COUNTY, WASHINGTON RECORDING NO. 2020XXXXXX FOR MORE INFORMATION ABOUT THESE EASEMENTS.

**UTILITY EASEMENT**

A UTILITY EASEMENT HAS BEEN GRANTED FOR THE BENEFIT OF UNIT LOTS WITHIN THIS UNIT LOT SUBDIVISION OVER, UNDER AND ACROSS THE WHOLE PARENT PARCEL. THIS EASEMENT SHALL INCLUDE, BUT NOT BE LIMITED TO UNDERGROUND WATERLINES, POWER, GAS, TELEPHONE, TELECABLE, SANITARY SEWER AND STORM SEWER, AND FOR BUILDING REPAIR, MAINTENANCE AND EMERGENCY ACCESS.

**EMERALD LAND SURVEYING, INC.**

PO BOX 13694 MILL CREEK, WA. 98082  
PH. (425) 359-7198  
Email: emeraldpls@aol.com

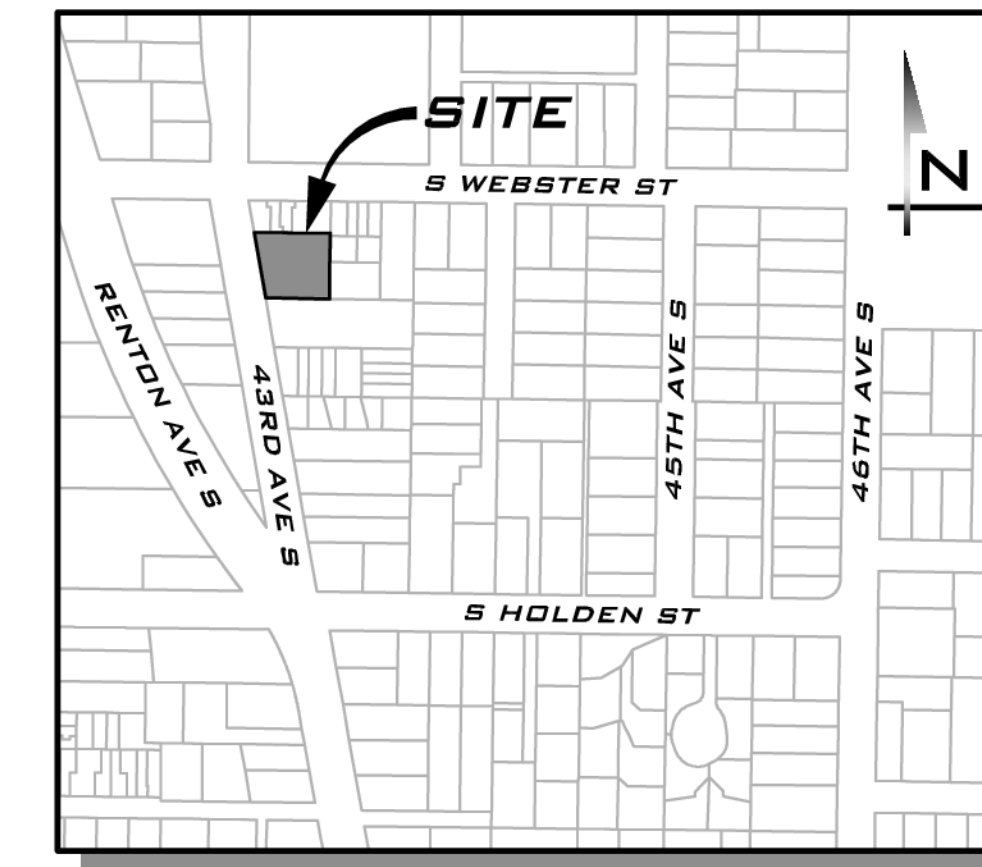
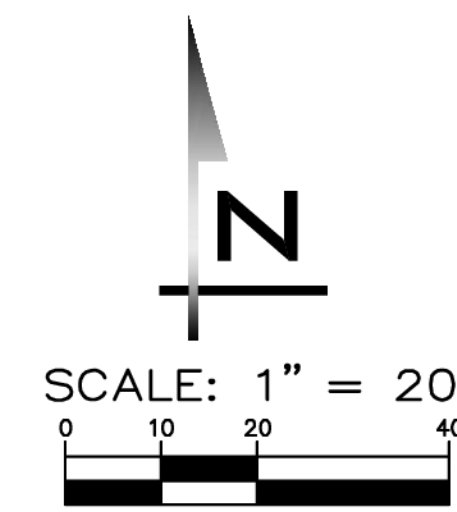


**RECORD OF SURVEY**

Build Urban, LLC  
7508 43rd Avenue South  
Seattle, WA 98118

SURVEY IN S.W. 1/4, S.E. 1/4,  
SEC. 27, T. 24N., R. 4E.

DWN. BY: HMM	DATE: 3/24/20	JOB NO. 19717
CHK. BY: EBLE	SCALE: 1" = 10'	SHEET 6 OF 6



**VICINITY MAP**  
SCALE: 1"=200'

**SITE DATA**

SITE ADDRESS: 7508 43RD AVE S, SEATTLE, WASHINGTON 98118  
 TAX ACCOUNT NO.: 390410-0040  
 ZONING: LR2-M (MULTI-FAMILY)  
 ZONING AGENCY: SEATTLE DEPARTMENT OF CONSTRUCTION & INSPECTIONS  
 700 5TH AVE, SUITE 2000  
 SEATTLE, WA 98104  
 (206) 684-8850

SETBACKS: CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW. CURRENT SETBACKS MAY DIFFER FROM THOSE IN EFFECT DURING DESIGN/CONSTRUCTION OF EXISTING IMPROVEMENTS.  
 THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE GOVERNING JURISDICTION INDICATES THAT STRUCTURES ON THIS PROPERTY COMPLIED WITH MINIMUM SETBACK AND HEIGHT REQUIREMENTS FOLLOWING CONSTRUCTION.

**SITE DESCRIPTION**

THE WEST 130.6 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 17 OF PLATS, PAGE 54, RECORDS OF KING COUNTY, WASHINGTON, AS MEASURED ALONG THE NORTH LINE OF SAID LOT 6 THEREOF; EXCEPT THE NORTH 50 FEET THEREOF.

APN 390410-0040

**VERTICAL DATUM**

NAVD 88

**BENCH MARK**

POINT NAME: SHV-2522, BRASS CAP 10" S & 0.5" W OF INT BKWC IN THE SE COR INT OF S MILWOOD LANE & RAINIER AVE S  
 ELEVATION: 50.924 FEET

**SITE BENCH MARK**

POINT NAME: 568, SET TACK IN LEAD W/ TAG, LS 30581, 6' OFFSET AT SW CORNER OF PROPERTY  
 ELEVATION: 130.61 FEET

**PROPERTY CORNERS:**

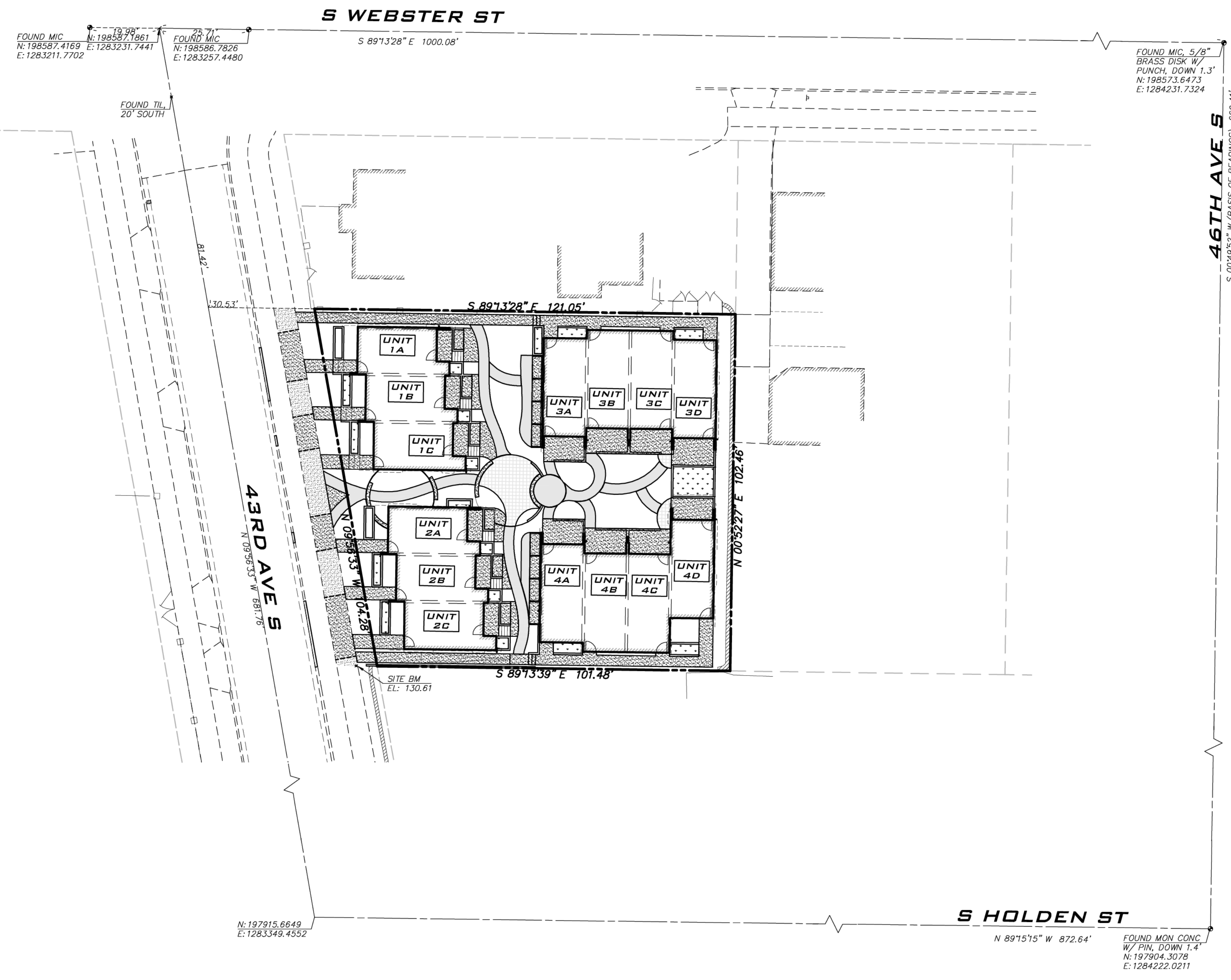
- P1 SET TACK IN LEAD W/ TAG, LS 30581, 6' OFFSET
- P2 SET MAG W/ TAG, LS 30581
- P3 SET REBAR & CAP, LS 30581

**PROJECT TEAM**

<b>ARCHITECT</b> DAVID VANDERVORT ARCHITECTS 2000 FAIRVIEW AVE E, SUITE 103 SEATTLE, WA 98102 (206) 784-1614 CONTACT: MARK WIERENGA	<b>CIVIL ENGINEER</b> BLUELINE 25 CENTRAL WAY, SUITE 400 KIRKLAND, WA 98033 (425) 250-7234 CONTACT: KIMBERLY J McNABB, PE
<b>OWNER</b> BUILD SOUND LLC 3213 W WHEELER ST, PO BOX 131 SEATTLE, WA 98199 (206) 420-8612 CONTACT: ROB McVICARS	<b>SURVEYOR</b> EMERALD LAND SURVEYING, INC. PO BOX 13694 MILL CREEK, WA 98082 (425) 359-7198 CONTACT: BRENT L EBEL, PLS

**SHEET INDEX**

- C1 COVER SHEET
- C2 CSC/SOIL PLAN
- C3 DRAINAGE CONTROL PLAN
- C4 ONSITE STORMWATER MANAGEMENT PLAN
- C5 STANDARD DETAILS



**UNDERGROUND UTILITY NOTE**  
 UNDERGROUND UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES. TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL, THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

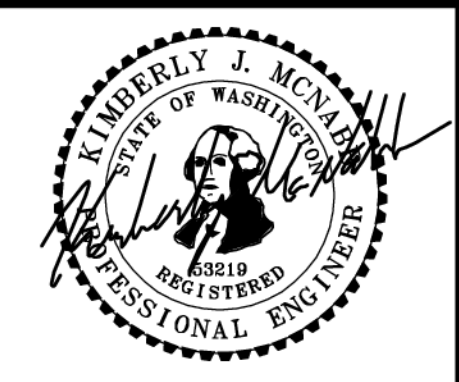
**SDCI APPROVAL STAMP**

**BLUELINE**  
 25 CENTRAL WAY, SUITE 400,  
 KIRKLAND, WA 98033  
 P: 425.216.4851 F: 425.216.4052  
 WWW.THEBLUELINEGROUP.COM

SCALE: AS NOTED  
 PROJECT MANAGER: KIMBERLY J. McNABB, PE  
 PROJECT ENGINEER: MARY KOUTRELAKOS  
 DESIGNER: NADIA KROUMOVA  
 ISSUE DATE: 12/17/2019

NO	DATE	BY	REVISIONS

**COVER SHEET**  
**7508 43RD AVE S**  
**COMPREHENSIVE DRAINAGE PLAN**  
 SDCI PROJECT NO. 6721818-CN  
 WASHINGTON  
 CITY OF SEATTLE

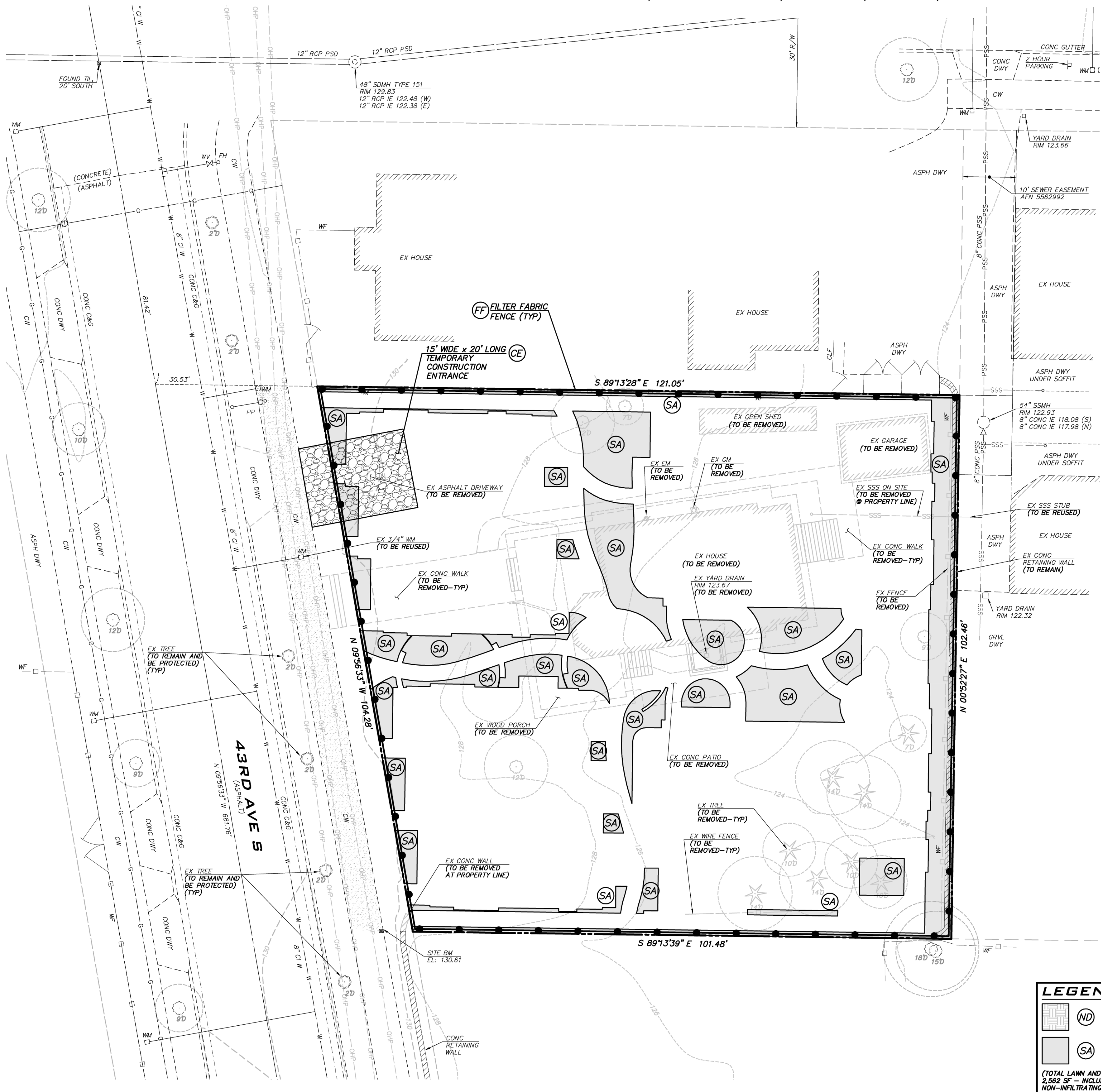
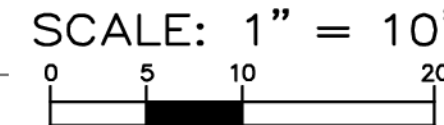


12/17/19  
 JOB NUMBER: 19-233  
 SHEET NAME: COVER  
 SHT C1 OF C5

### CONSTRUCTION STORMWATER CONTROL REQUIREMENTS

A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY. CALL 206-884-8900 OR ONLINE AT [WWW.SEATTLE.GOV/DPD](http://WWW.SEATTLE.GOV/DPD). CONSTRUCTION EROSION CONTROL MEASURES MUST BE SHOWN ON THIS PLAN AND APPROVED BY DPD BEFORE ANY LAND DISTURBING ACTIVITY BEGINS. COMPLETE CONSTRUCTION STORMWATER CONTROL DETAILS AND REQUIREMENTS MAY BE FOUND IN DIRECTOR'S RULE DPD DR 21-2015, CHAPTER 4, VOLUME 2: CONSTRUCTION STORMWATER CONTROL, OF THE SEATTLE STORMWATER MANUAL.

TEMPORARY AND PERMANENT CONSTRUCTION CONTROLS SHALL BE USED TO ACCOMPLISH THE FOLLOWING MINIMUM REQUIREMENTS. ADDITIONAL CONTROLS MAY BE REQUIRED BY THE DIRECTOR WHEN MINIMUM CONTROLS ARE NOT SUFFICIENT TO PREVENT EROSION OR TRANSPORT OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE.



- MARK CLEARING LIMITS AND ENVIRONMENTALLY CRITICAL AREAS** WITHIN THE BOUNDARIES OF THE PROJECT SITE AND PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES. CLEARLY MARK ALL CLEARING LIMITS, EASEMENTS, SETBACKS, ALL ENVIRONMENTALLY CRITICAL AREAS AND THEIR BUFFERS, AND ALL TREES, AND DRAINAGE COURSES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA.
- RETAIN TOP LAYER AND/OR AMEND ALL DISTURBED SOILS** (SEE CAM 531), WITHIN THE BOUNDARIES OF THE PROJECT SITE, THE DIRT LAYER, TOP SOIL, AND NATIVE VEGETATION, IF THERE IS ANY. SHALL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT FEASIBLE. IF IT IS NOT FEASIBLE TO RETAIN THE TOP LAYER IN PLACE, IT SHOULD BE STOCKPILED ON-SITE, COVERED TO PREVENT EROSION. SOIL SHALL THEN BE AMENDED AND REPLACED IMMEDIATELY UPON COMPLETION OF THE GROUND DISTURBING ACTIVITIES AS DESCRIBED IN THE SOIL MANAGEMENT PLAN ON THIS SHEET AND PROTECTED FROM COMPACTION.
- ESTABLISH CONSTRUCTION ACCESS**, LIMIT CONSTRUCTION VEHICLE ACCESS TO ONE ROUTE. STABILIZE ACCESS POINTS AND PREVENT TRACKING SEDIMENT ONTO PUBLIC ROADS. PROMPTLY REMOVE ANY SEDIMENT TRACKED OFF SITE.
- PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS**, PROTECT PROPERTIES AND RECEIVING WATERS DOWNSTREAM FROM THE DEVELOPMENT SITES FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF DRAINAGE WATER FROM THE PROJECT SITE.
- PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE**. PASS ALL DRAINAGE WATER FROM DISTURBED AREAS THROUGH A SEDIMENT TRAP OR OTHER APPROPRIATE SEDIMENT REMOVAL BEST MANAGEMENT PRACTICES (BMP) BEFORE DISCHARGING FROM THE SITE. SEDIMENT CONTROLS INTENDED TO TRAP SEDIMENT ON SITE SHALL BE CONSTRUCTED AS ONE OF THE FIRST STEPS IN GRADING AND SHALL BE FUNCTIONAL BEFORE OTHER LAND DISTURBING ACTIVITIES TAKE PLACE. ONE OF THE FOLLOWING SHALL BE USED TO PREVENT THE TRANSPORT OF SEDIMENT FROM THE SITE: COMPOST STOCKS, BERMS OR BLANKETS, FILTER FENCE, STRAW BALE BARRIER, BRUSH BARRIER, GRAVEL FILTER BERM, SEDIMENT POND OR SEDIMENT TRAP. SANDBAGS MAY ALSO BE UTILIZED TO PREVENT SEDIMENT FROM BEING DISCHARGED OFF-SITE. RETAINING NATURAL VEGETATION AND BUFFER ZONES ARE ENCOURAGED, BUT MAY NOT BE USED AS A SUBSTITUTE.
- PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE BY VEHICLES**. LIMIT CONSTRUCTION VEHICLE ACCESS, WHENEVER POSSIBLE, TO ONE LOCATION. STABILIZE ALL ACCESS POINTS. PROVIDE PERIMETER STREET CLEANING OR SHOVELING ANY SEDIMENT THAT MAY HAVE BEEN TRACKED OUT. PLACE SEDIMENT IN A SUITABLE DISPOSAL AREA WHERE IT WILL NOT ERODE ANY FURTHER.
- STABILIZE SOILS**. PREVENT ON-SITE EROSION BY STABILIZING ALL EXPOSED AND UNWORKED SOILS, INCLUDING STOCK PILES. FROM OCTOBER 1 TO APRIL 30, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN TWO DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN EXPOSED FOR MORE THAN SEVEN DAYS. SOILS SHALL BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. SOIL STOCKPILES SHALL BE STABILIZED FROM EROSION, PROTECTED WITH SEDIMENT TRAPPING MEASURES, AND BE LOCATED AWAY FROM STORM DRAIN INLETS, WATERWAYS, AND DRAINAGE CHANNELS. BEFORE THE COMPLETION OF THE PROJECT, PERMANENTLY STABILIZE ALL EXPOSED SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.

SOME EXAMPLES OF BMPs TO USE TO STABILIZE SOILS, INCLUDING STOCKPILES ARE: COMPOST BLANKETS, SEEDING AND MULCHING, OR MATTING/ROLLED EROSION CONTROL PRODUCTS. COMPOST BLANKETS CAN BE USED AS TEMPORARY EROSION CONTROL AND THEN BE MIXED INTO THE SOIL TO HELP MEET THE POST CONSTRUCTION SOIL REQUIREMENTS.

- PROTECT SLOPES**. EROSION FROM SLOPES SHALL BE MINIMIZED. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. OFF-SITE STORMWATER RUN-ON OR GROUNDWATER SHALL BE DIVERTED AWAY FROM SLOPES AND UNDISTURBED AREAS.
- PROTECT STORM DRAINS**. PREVENT SEDIMENT FROM ENTERING ALL STORM DRAINS, INCLUDING DITCHES, THAT RECEIVE DRAINAGE WATER FROM THE PROJECT. STORM DRAIN INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED AS RECOMMENDED BY THE PRODUCT MANUFACTURER, OR MORE FREQUENTLY IF REQUIRED TO PREVENT FAILURE OF THE DEVICE OR FLOODING. STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT DRAINAGE WATER DOES NOT ENTER THE DRAINAGE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS. STORM DRAIN INLET PROTECTION DEVICES SHALL BE REMOVED AT THE CONCLUSION OF THE PROJECT.
- STABILIZE CHANNELS AND OUTLETS**. ALL TEMPORARY ON-SITE DRAINAGE SYSTEMS SHALL BE DESIGNED, CONSTRUCTED, AND STABILIZED TO PREVENT EROSION. STABILIZATION SHALL BE PROVIDED AT THE OUTLETS OF ALL DRAINAGE SYSTEMS THAT IS ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAM BANKS, SLOPES, AND DOWNSTREAM REACHES.
- CONTROL POLLUTANTS**. MEASURES SHALL BE TAKEN TO CONTROL POTENTIAL POLLUTANTS. COMPLY WITH THE REQUIREMENTS FOR EACH OF THE FOLLOWING CONSTRUCTION RELATED ACTIVITIES: POLLUTANT DISPOSAL (INCLUDING SEDIMENT, WASTE MATERIALS, AND DEMOLITION DEBRIS); CHEMICAL STORAGE; ON-SITE FUELING; MAINTENANCE, FUELING AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES; CLEANUP OF CONTAMINATED SURFACES; DISCHARGE OF WHEEL WASH WASTEWATER; FERTILIZER AND PESTICIDE APPLICATION; PH-MODIFYING SOURCES.
- CONTROL DEWATERING**. WHEN DEWATERING DEVICES DISCHARGE ON SITE OR TO A PUBLIC DRAINAGE SYSTEM, DEWATERING DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP TO REMOVE SEDIMENT CONTAMINATION, OR OTHER SEDIMENT REMOVAL BMP. A SEPARATE DEWATERING PERMIT IS REQUIRED FOR: ONE ARE OR GREATER DISTURBED AREA; CONTAMINATED SURFACE AND /OR GROUNDWATER; EXCAVATION GREATER THAN 12 FEET IN DEPTH; SIGNIFICANT VOLUME OF GROUNDWATER; OTHER SITE SPECIFIC CONDITIONS LEADING TO SIGNIFICANT DEWATERING.
- MAINTAIN AND INSPECT BMPs**. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSPECTED, MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED WITHIN FIVE (5) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY CONTROLS ARE NO LONGER NEEDED, WHICHEVER IS LATER. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED. FOR PROJECTS WITH 5,000 SQUARE FEET OR MORE OF NEW PLUS REPLACED IMPERVIOUS SURFACE OR 7,000 SQUARE FEET OR MORE OF LAND DISTURBING ACTIVITY, SITE INSPECTIONS SHALL BE CONDUCTED BY A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD WHO SHALL BE IDENTIFIED IN THE CONSTRUCTION STORMWATER CONTROL PLAN AND SHALL BE PRESENT ON-SITE OR ON-CALL AT ALL TIMES.
- EXECUTE CONSTRUCTION STORMWATER CONTROL PLAN**. CONSTRUCTION SITE OPERATORS SHALL MAINTAIN, UPDATE, AND IMPLEMENT THEIR CONSTRUCTION STORMWATER CONTROL PLAN. CONSTRUCTION SITE OPERATORS SHALL MODIFY THEIR CONSTRUCTION STORMWATER CONTROL PLAN TO MAINTAIN COMPLIANCE.
- MINIMIZE OPEN TRENCHES**. IN THE CONSTRUCTION OF UNDERGROUND UTILITY LINES, WHERE FEASIBLE, NO MORE THAN ONE HUNDRED FIFTY (150) FEET OF TRENCH SHALL BE OPENED AT ONE TIME.
- PHASE THE PROJECT**. DEVELOPMENT PROJECTS SHALL BE PHASED IN ORDER TO MINIMIZE THE AMOUNT OF LAND DISTURBING ACTIVITY OCCURRING AT THE SAME TIME AND SHALL TAKE INTO ACCOUNT SEASONAL WORK LIMITATIONS.
- INSTALL PERMANENT FLOW CONTROL AND WATER QUALITY FACILITIES**. AFTER CONSTRUCTION BUT BEFORE THE PROJECT IS CONSIDERED COMPLETED, PERMANENTLY STABILIZE ALL EXPOSED SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION. USE ONE OF THE FOLLOWING TO PERMANENTLY STABILIZE SOILS: PERMANENT SEEDING, PLANTING, OR SODDING.
- PROTECT STORMWATER BMPs**. PROTECT ALL STORMWATER BMPs FROM SEDIMENTATION THROUGH INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BMPs. RESTORE THE BMPs TO THEIR FULLY FUNCTIONING CONDITION IF THEY ACCUMULATE SEDIMENT DURING CONSTRUCTION. RESTORING THE STORMWATER BMPs MUST INCLUDE REMOVAL OF SEDIMENT AND ANY SEDIMENT-LADEN SOILS, AND REPLACING THE REMOVED SOILS WITH SOILS MEETING THE DESIGN SPECIFICATION.

**LEGEND**

	ND	NON-DISTURBED AREA (0 SF)
	SA	SOIL AMENDMENT AREA (2,197 SF)

(TOTAL LAWN AND LANDSCAPING 2,562 SF - INCLUDES UNCOVERED NON-INFILTRATING BIORETENTION PLANTER AREA)

**NOTE**  
ALL ONSITE STRUCTURES AND HARDSCAPE TO BE REMOVED.

**SDGI APPROVAL STAMP**

**BLUELINE**

25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033  
P: 425.216.4051 F: 425.216.4052 WWW.THEBLUELINEGROUP.COM

**SCALE:**  
AS NOTED

**PROJECT MANAGER:**  
KIMBERLY J. McNABB, PE

**PROJECT ENGINEER:**  
MARY KOUTRELOAKOS

**DESIGNER:**  
NADIA KROUMOVA

**ISSUE DATE:**  
12/17/2019

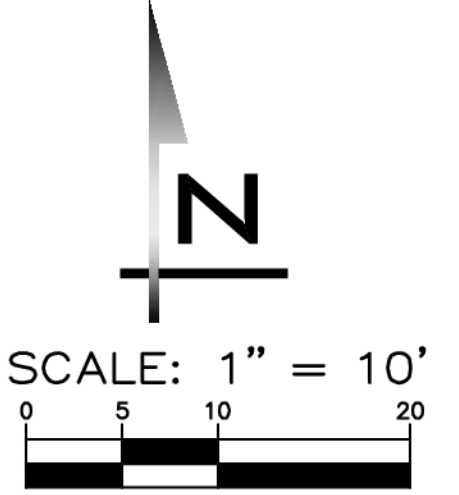
NO	DATE	BY	REVISIONS

**CSC/SOIL PLAN**  
**7508 43RD AVE S**  
**COMPREHENSIVE DRAINAGE PLAN**  
SDGI PROJECT NO. 6721818-CN  
WASHINGTON  
CITY OF SEATTLE

**12/17/19**  
JOB NUMBER:  
**19-233**  
SHEET NAME:  
**CSC/SOIL**  
SHT **C2** OF **C5**

22a54  
Dec 17, 2019 5:31pm User: nkrumova  
E:\Projects\19233\DWG\SDGI\19233SOIL.dwg  
© 2019 THE BLUELINE GROUP





**BLUELINE**  
 25 CENTRAL WAY, SUITE 400,  
 KIRKLAND, WA 98033  
 P. 425.216.4051 F. 425.216.4052  
 WWW.THEBLUELINEGROUP.COM

SCALE:  
 AS NOTED  
 PROJECT MANAGER:  
 KIMBERLY J. McNABB, PE  
 PROJECT ENGINEER:  
 MARY KOUTRELAKOS  
 DESIGNER:  
 NADIA KROUMOVA  
 ISSUE DATE:  
 12/17/2019

**NON-INFILTRATING  
 BIO-RETENTION PLANTERS**

PLANTER NUMBER	TRIBUTARY AREA—MITIGATED	TRIBUTARY AREA—UNMITIGATED	SURFACE AREA (REQ)	SURFACE AREA (PROV)	INSIDE DIMENSIONS (LENGTH x WIDTH)	TOP WALL EL	OVERFLOW RIM	UNDERDRAIN IE OUT
BP-1	248 SF	0 SF	14 SF	16 SF	7.5' x 2.1'	127.00	125.50	122.50
BP-2	223 SF	0 SF	12 SF	18 SF	8.9' x 2.0'	131.60	131.43	128.43
BP-3	222 SF	26 SF	12 SF	11 SF	3.5' x 3.1'	130.00	129.83	125.50
BP-4	223 SF	0 SF	12 SF	18 SF	8.9' x 2.0'	131.15	130.98	127.98
BP-5	222 SF	26 SF	12 SF	11 SF	3.5' x 3.1'	130.00	129.83	125.50
BP-6	248 SF	52 SF	14 SF	11 SF	3.5' x 3.1'	130.00	129.83	125.50
BP-7	248 SF	16 SF	14 SF	13 SF	6.4' x 2.0'	130.00	129.83	126.50
BP-8	223 SF	0 SF	12 SF	18 SF	8.9' x 2.0'	130.70	130.53	127.53
BP-9	222 SF	26 SF	12 SF	11 SF	3.5' x 3.1'	130.00	129.83	125.50
BP-10	223 SF	0 SF	12 SF	18 SF	8.9' x 2.0'	130.81	130.64	127.64
BP-11	222 SF	26 SF	12 SF	11 SF	3.5' x 3.1'	130.00	129.83	125.50
BP-12	248 SF	52 SF	14 SF	11 SF	3.5' x 3.1'	130.00	129.83	125.50
BP-13	421 SF	0 SF	24 SF	25 SF	8.4' x 3.0'	126.00	125.83	122.83
BP-14	417 SF	0 SF	23 SF	25 SF	8.4' x 3.0'	126.00	125.83	122.83
BP-15	1,711 SF	0 SF	96 SF	98 SF	11.5' x 8.5'	124.00	123.83	120.83
BP-16	416 SF	0 SF	23 SF	25 SF	8.4' x 3.0'	126.00	125.83	122.83
BP-17	423 SF	0 SF	24 SF	25 SF	8.4' x 3.0'	126.00	125.83	122.83
TOTALS	6,160 SF	224 SF	342 SF	365 SF				

- MINIMUM INTERIOR WIDTH OF NON-INFILTRATING BIORETENTION PLANTER MUST BE 2.0'.
- ALL NON-INFILTRATING BIORETENTION PLANTERS SHALL HAVE A MINIMUM 6" PONDING DEPTH.

**EXISTING SIDE SEWER NOTE**

- EXISTING SIDE SEWER TO BE EVALUATED PRIOR TO SIDE SEWER PERMIT APPLICATION. IF EXISTING SIDE SEWER IS FOUND TO BE SUITABLE FOR RE-USE, CERTIFICATION/ ATTESTATION WILL BE PREPARED AND SUBMITTED TO CITY WITH SIDE SEWER PERMIT APPLICATION. IF EXISTING SIDE SEWER IS FOUND TO BE UNSUITABLE FOR RE-USE, A NEW SIDE SEWER CONNECTION TO THE MAIN, AS SHOWN ON THESE PLANS, WILL BE USED.
- SIDE SEWER TO BE CONNECTED TO MAIN OFF OF S WEBSTER ST THAT RUNS THROUGH 4131 AND 4315 S WEBSTER ST. CONTRACTOR TO COORDINATE WITH NEIGHBOR PER EASEMENT REGARDING CONNECTION AND TIMING.

**STORM DRAINAGE NOTES**

- ROOF DRAINS TO DISCHARGE TO NON-INFILTRATING BIORETENTION PLANTERS AS SHOWN ON SHEET C4. FOOTING DRAINS TO BE CONNECTED TO CB 1 PRIOR TO DISCHARGE. SEE ARCHITECTURAL PLANS FOR DRAINAGE LOCATIONS.
- ALL ONSITE CATCH BASINS TO BE WSDOT TYPE I OR COS STANDARD TYPE 241 UNLESS OTHERWISE NOTED.
- PERFORATED UNDERDRAIN PIPES WITHIN BIORETENTION PLANTERS ARE NOT SHOWN FOR CLARITY. REFER TO DETAIL ON SHEET C5.

**SIDE SEWER AND DRAINAGE PERMIT NOTES**

- SIDE SEWERS AND DRAINAGE FACILITIES SHALL BE CONSTRUCTED PER THE "REQUIREMENTS FOR DESIGN OF SIDE SEWERS (DRAINAGE & WASTEWATER)" DIRECTORS' RULE DPD 4-2011/2011-004 AND PER THE "2016 SEATTLE STORMWATER MANUAL" DIRECTORS' RULE DPD 21-2015/SPU DWW-200.
- A SEPARATE DRAINAGE AND SIDE SEWER PERMIT IS REQUIRED FOR ALL ONSITE DRAINAGE ELEMENTS AND SIDE SEWERS/ SERVICE DRAINS. APPROVAL OF THIS PLAN IS REQUIRED PRIOR TO OBTAINING A DRAINAGE AND SIDE SEWER PERMIT.
- RE-USE OF EXISTING SIDE SEWERS WHEN THERE WILL BE AN INCREASE IN LIVING UNITS REQUIRES THE EVALUATION AND CERTIFICATION (PE EVAL/CERT) OF THE EXISTING SIDE SEWER BY A PROFESSIONAL ENGINEER PRIOR TO FINALIZING THE SIDE SEWER AND DRAINAGE PERMIT. IN MOST CASES, THE SIDE SEWER MUST BE LINED ALL THE WAY TO THE MAIN. SEE DIRECTORS RULE 4-2011.V.M AND SMC 21.16.240.
- IN ORDER TO ADD UNITS TO AN EXISTING SIDE SEWER, A CERTIFIED LETTER STATING THE INTENT TO ADD UNITS TO THE SHARED SIDE SEWER MUST BE SENT TO ALL PROPERTY OWNERS OF PARCELS SERVED BY THE SHARED SIDE SEWER AT LEAST 30 DAYS PRIOR TO APPLYING FOR THE SIDE SEWER PERMIT. SMC 21.16.240.C. A RECEIPT OF CERTIFIED MAILING AND THE CERTIFICATION/ATTESTATION OF MAILING NOTIFICATION MUST BE SUBMITTED TO SDGI PRIOR TO PERMIT ISSUANCE.
- DEVIATIONS FROM THE APPROVED DRAINAGE AND WASTEWATER CONTROL PLAN MAY REQUIRE A FORMAL POST-SUBMITTAL REVISION FOR PLAN REVIEW AND APPROVAL. POST-SUBMITTAL REVISIONS MUST BE SUBMITTED ELECTRONICALLY THROUGH THE SDGI PROJECT PORTAL.

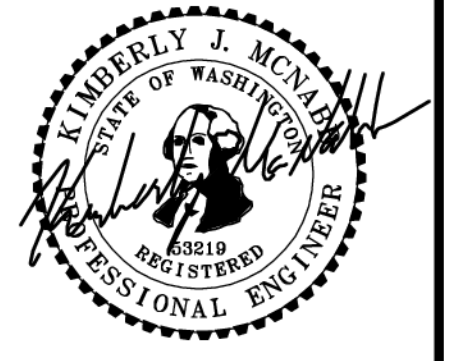
**AREA DRAIN TABLE**

AREA DRAIN NUMBER	RIM	IE
1	129.95	128.45
2	129.95	128.45
3	129.95	128.45
4	129.95	128.45
5	129.95	128.45
6	129.95	128.45
7	129.95	125.32
8	126.82	125.08
9	126.82	125.37
10	125.82	120.87
11	124.35	120.97
12	125.90	125.49
13	125.87	122.49

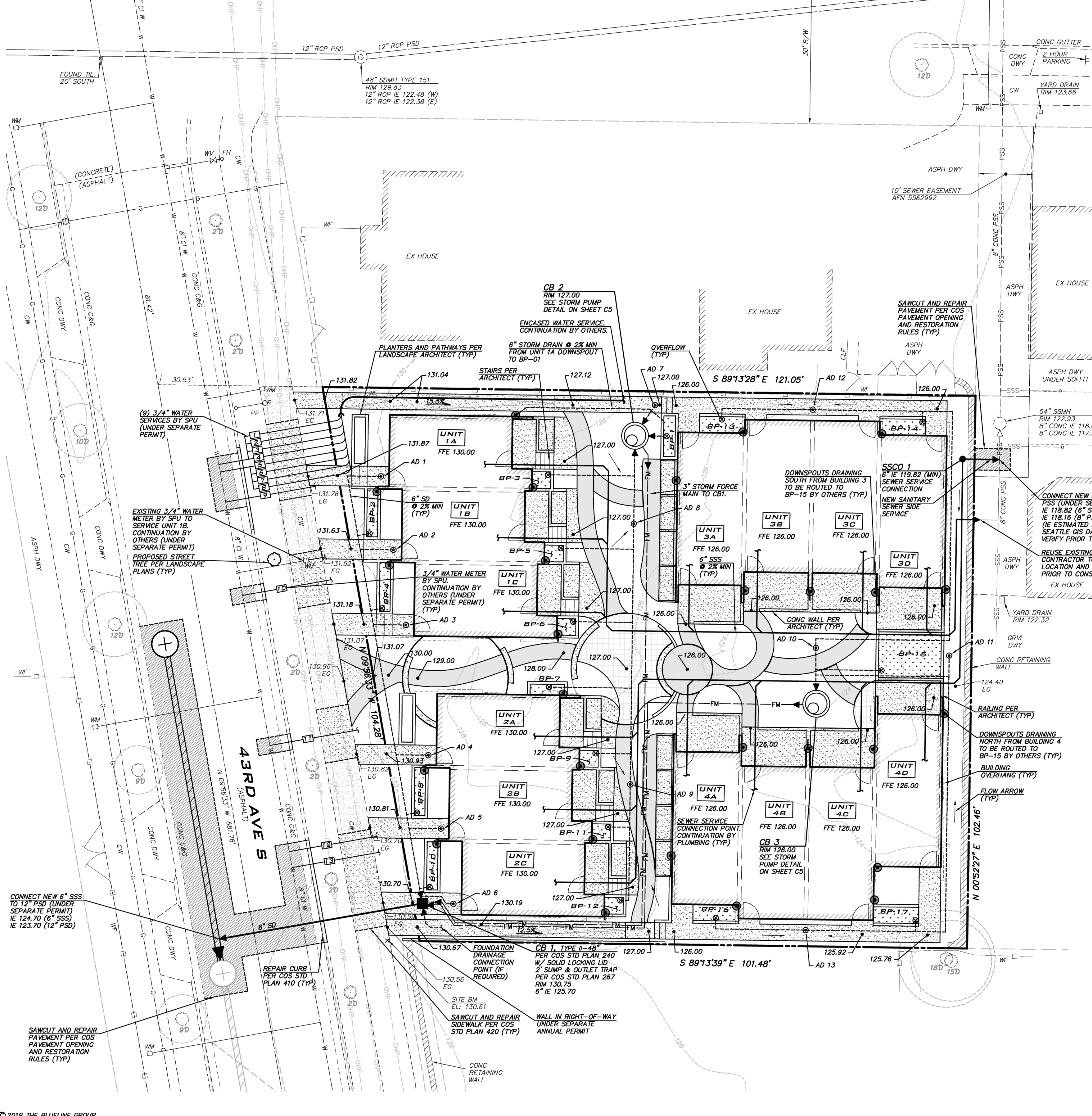
**SDGI APPROVAL STAMP**

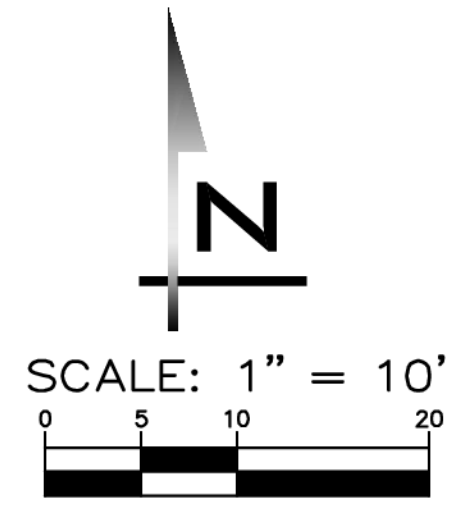
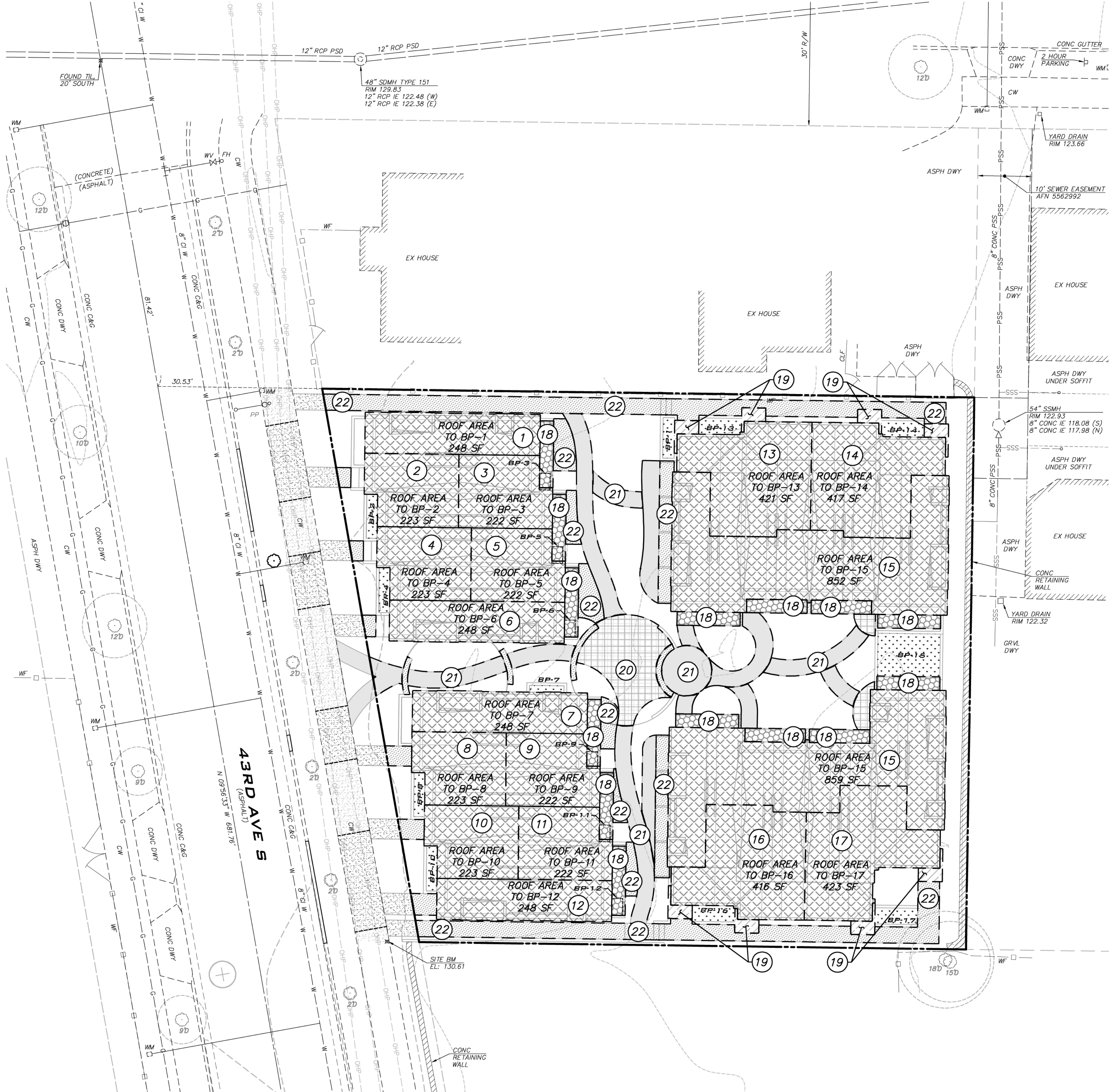
JOB NUMBER:  
**19-233**  
 SHEET NAME:  
**DRAINAGE**  
 SHT **C3** OF **C5**

**DRAINAGE CONTROL PLAN**  
**7508 43RD AVE S**  
**COMPREHENSIVE DRAINAGE PLAN**  
 SDGI PROJECT NO. 6721818-CN  
 WASHINGTON  
 CITY OF SEATTLE



12/17/19  
 JOB NUMBER:  
**19-233**  
 SHEET NAME:  
**DRAINAGE**  
 SHT **C3** OF **C5**





**BLUeline**  
 25 CENTRAL WAY, SUITE 400,  
 KIRKLAND, WA 98033  
 P: 425.216.4051 F: 425.216.4052  
 WWW.THEBLUelineGROUP.COM

SCALE:  
 AS NOTED  
 PROJECT MANAGER:  
 KIMBERLY J. McNABB, PE  
 PROJECT ENGINEER:  
 MARY KOUTRELAKOS  
 DESIGNER:  
 NADIA KROUMOVA  
 ISSUE DATE:  
 12/17/2019

NO	DATE	BY	REVISIONS

**ONSITE STORMWATER  
 MANAGEMENT PLAN  
 7508 43RD AVE S  
 COMPREHENSIVE DRAINAGE PLAN  
 SDGI PROJECT NO. 6721818-CN  
 CITY OF SEATTLE WASHINGTON**

SURFACE	ONSITE MANAGEMENT	AREA (SF)
①-⑱	ROOF AREA TRIBUTARY TO PLANTERS	6,160
⑱	AMENITY DECK	402
⑲	CANOPY	100
⑳	IMPERVIOUS PAVERS	240
㉑	GRAVEL WALKWAYS	765
㉒	CONCRETE WALKWAYS, MISCELLANEOUS HARDSCAPE AND SITE WALLS	1,171

**SDGI APPROVAL STAMP**

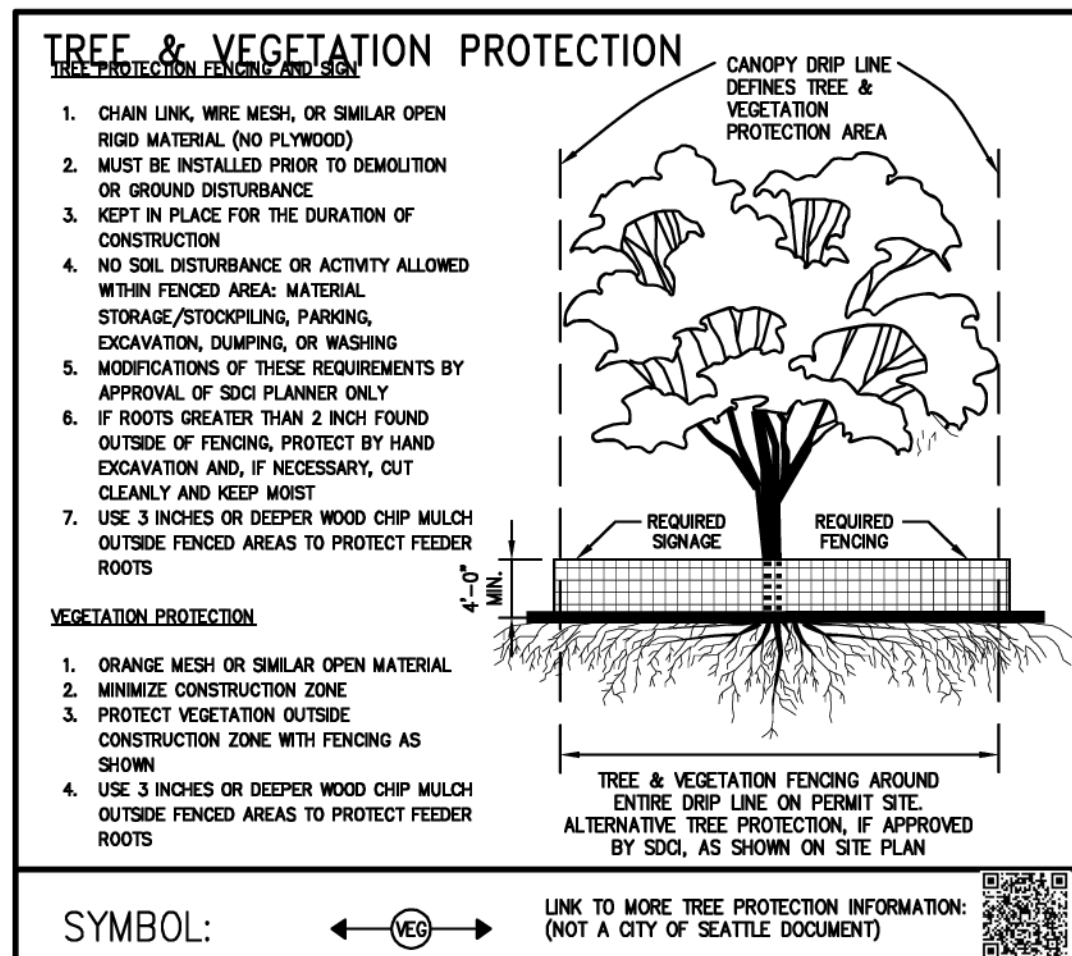
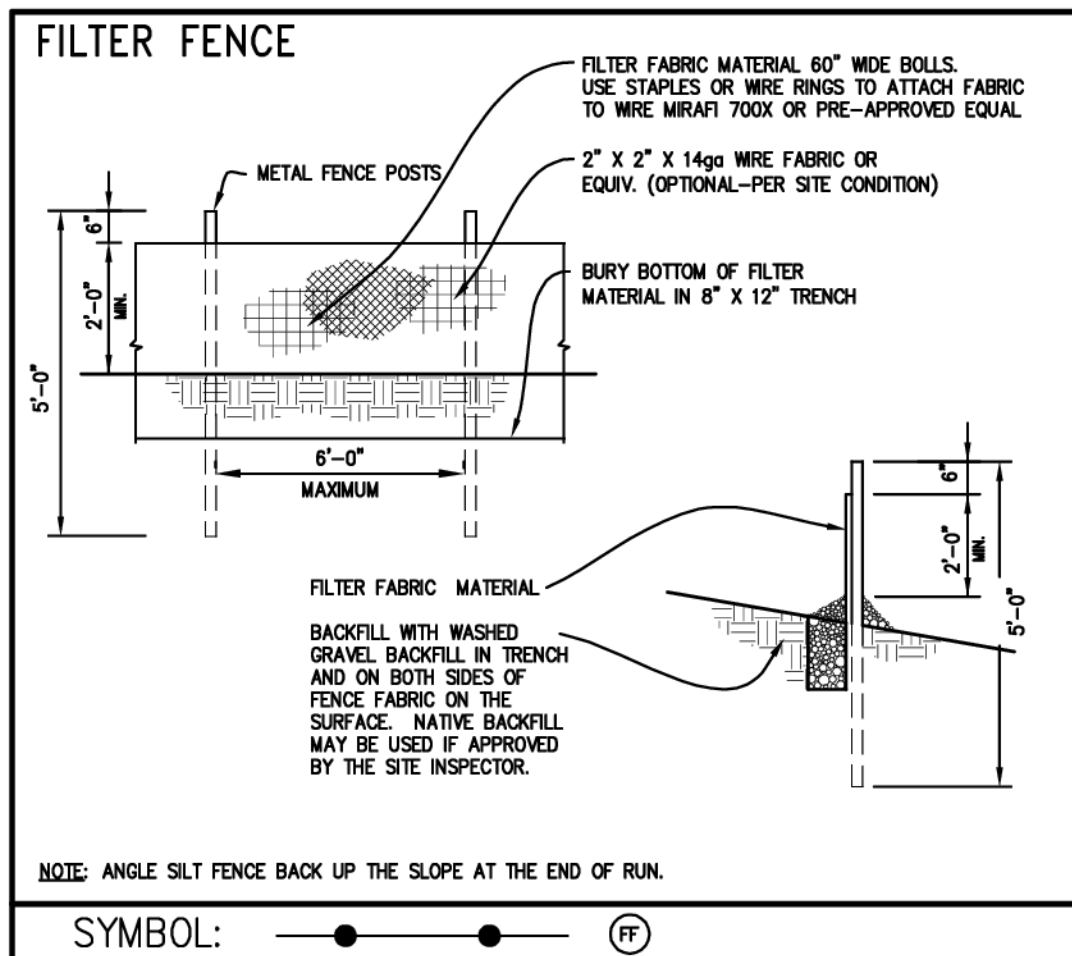
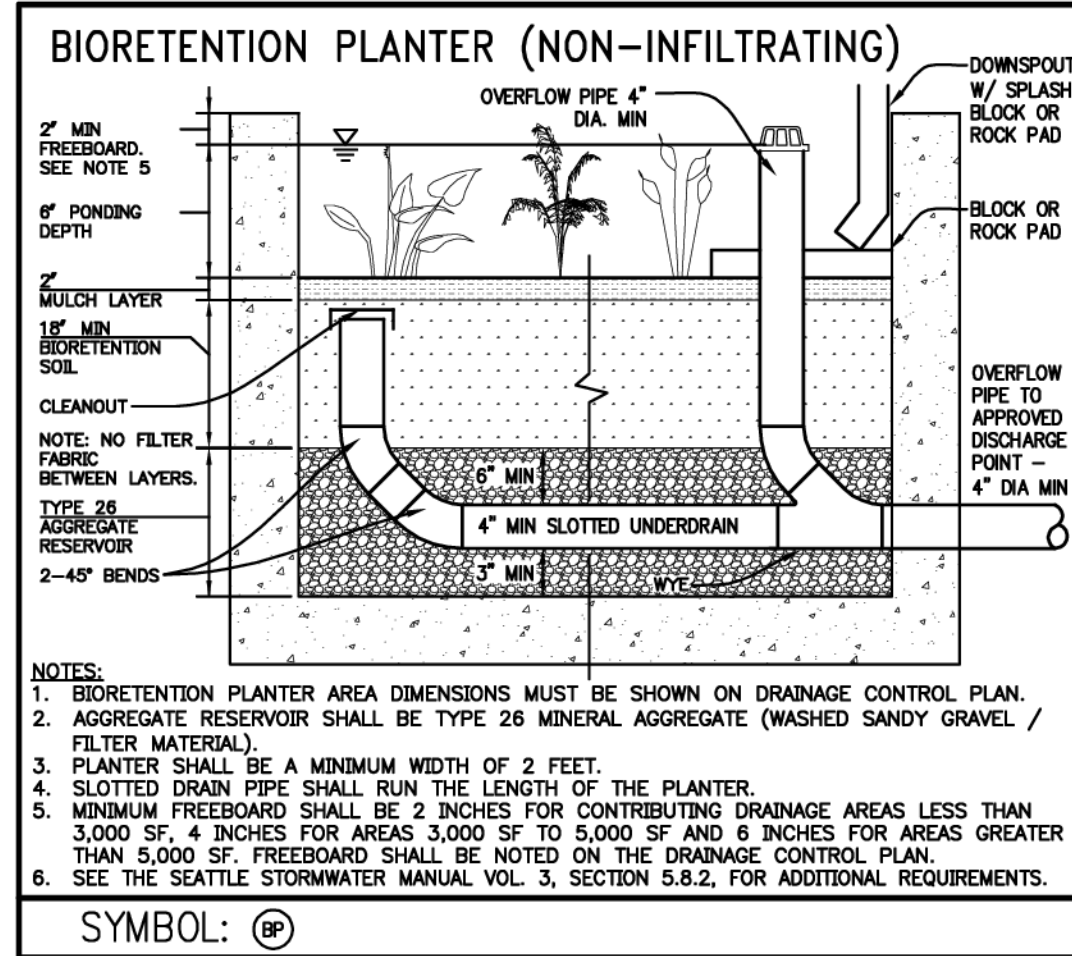
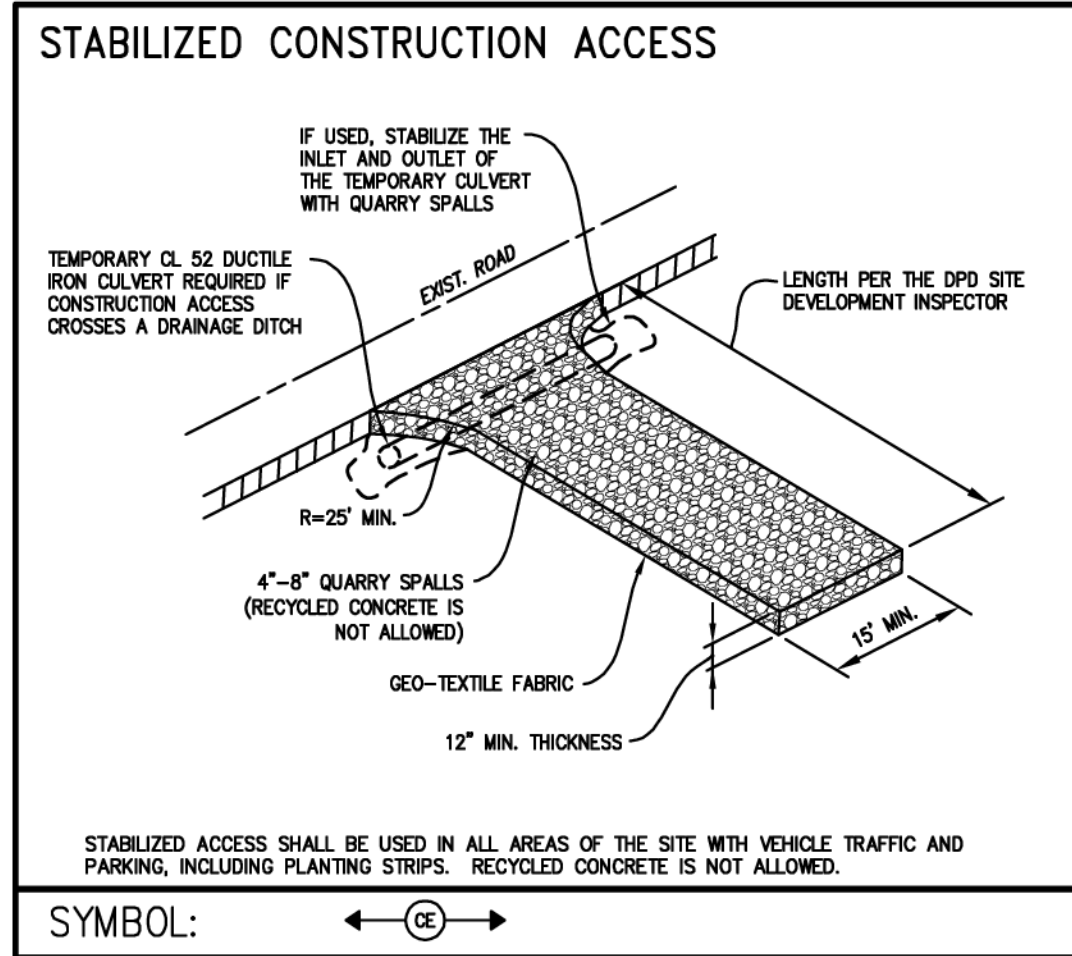
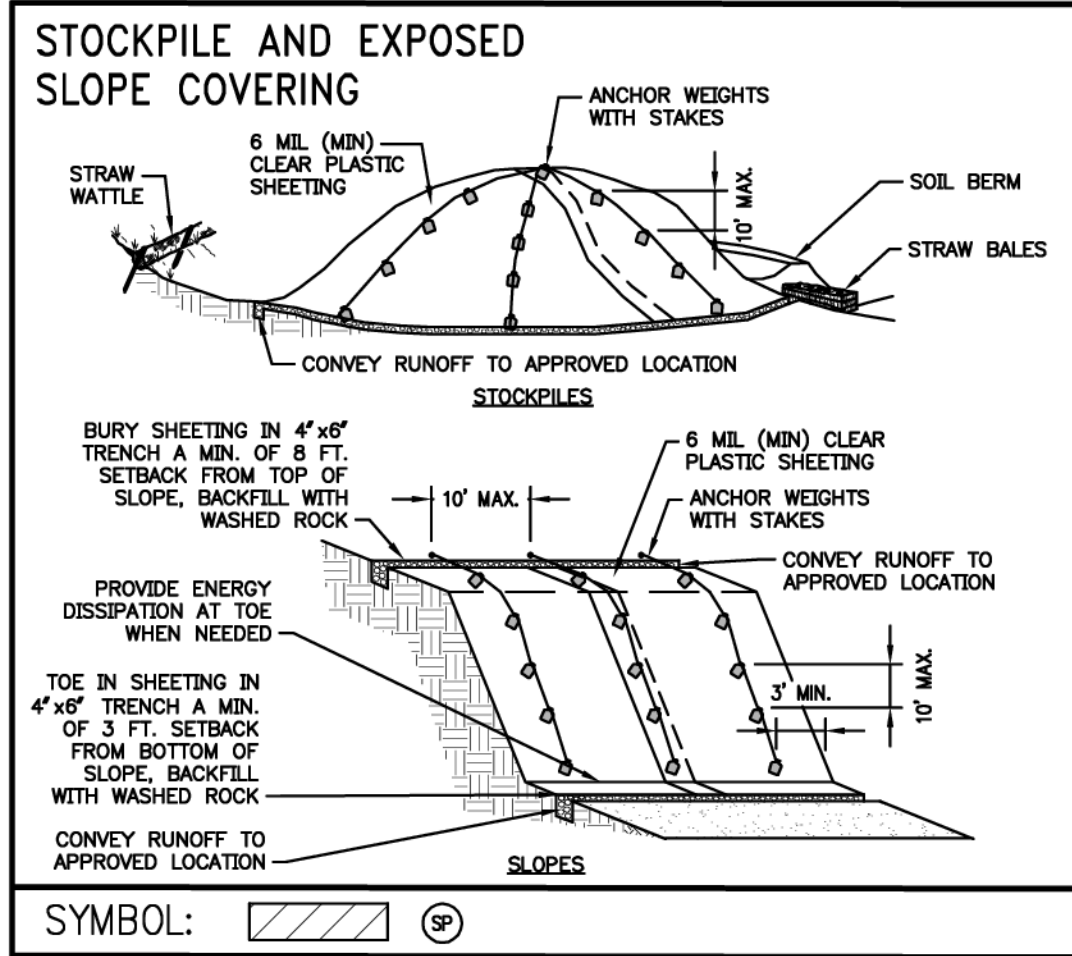
\_\_\_\_\_

12/17/19  
 JOB NUMBER:  
**19-233**  
 SHEET NAME:  
**DSM**

22-54  
 Dec 17, 2019 3:32pm User: nadrumova  
 E:\Projects\19233\Draw\SDCI\19233DSM.dwg  
 ©2019 THE BLUeline GROUP

**CONSTRUCTION STORMWATER CONTROL STANDARD DETAILS**

**ON-SITE STORMWATER MANAGEMENT STANDARD DETAILS**



**SITE AND DRAINAGE CONTROL SUMMARY SHEET**

On-site Stormwater Management - List Approach Calculator  
Site and Drainage Control Summary

Version 07-28-2017  
To use the On-Site List Calculator you must select "Enable Content" when the Security Warning appears.

**Project Information**

Site Address	7508 43rd Ave S	SDCI Project Number	6721818-CN
Primary Contact	Kimberly McNabb, PE	SDOT Project Number	
Project Type	Parcel-Based	Primary Contact E-mail or Phone	(425) 250-7234

Total Site Area: 11,400 sf  
Total New plus Replaced Hard Surface Area: 8,838 sf  
Existing Hard Surface Area to Remain: 0 sf  
Total New and/or Replaced Lawn and Landscaping: 2,562 sf  
Undisturbed and protected site area: 0 sf

Is the project lot created or reduced in size after Jan 1, 2016? No  
Project Engineer: Kimberly J. McNabb, PE  
Engineer E-mail: kmcnabb@thebluelinegroup.com

On-site Stormwater Management required for  $\geq 1,500$  sf of new plus replaced area: No  
On-site Performance Standard will be used (professional engineer required)? No

**Site Information**

Note: If required for your project, reference the Preliminary Assessment Report (PAR) to complete this section. If the total areas proposed are different from those provided in the PAR, requirements may change.

Approved Point of Stormwater Discharge: Public Storm Drain Main  
Designated Receiving Water: Designated Receiving Water  
Is the downstream drainage system considered Capacity Constrained by SPU? No

Approved Point of Wastewater Discharge: Public Sanitary Sewer Main  
Approved Point of Sub-Surface Discharge: Public Storm Drain Main  
Flow Control is required: No

Flow Control Standard: No  
Water Treatment for pollution-generating surfaces is required: No  
Select required treatment:  Oil Control  Phosphorus  Enhanced  Basic  
Total Pollution Generating Hard Surface Area: 8,838 sf  
Total Pollution Generating Pervious Surface Area: 2,562 sf

Source Control is required: No  
Environmentally Critical Areas: No  
 Steep Slope  Potential Slide  Riparian Corridor  Wetland  Liquefaction  Flood Prone  
 Landfill  Known Landslide  Fish / Wildlife  Peat / Groundwater Management  Shoreline Habitat

Temporary dewatering required: No  
Is there known soil and/or groundwater contamination on this site? No  
A licensed professional recommends dispersion not be used anywhere within the project site due to reasonable concerns of erosion, slope failure, or flooding. No

**Infiltration Information**

Is infiltration investigation required? Yes  
Is infiltration on the site feasible? No  
Site Measured Infiltration Rate: 0 x Infiltration Rate Correction Factor 0.5 = 0 Site Design Inf Rate

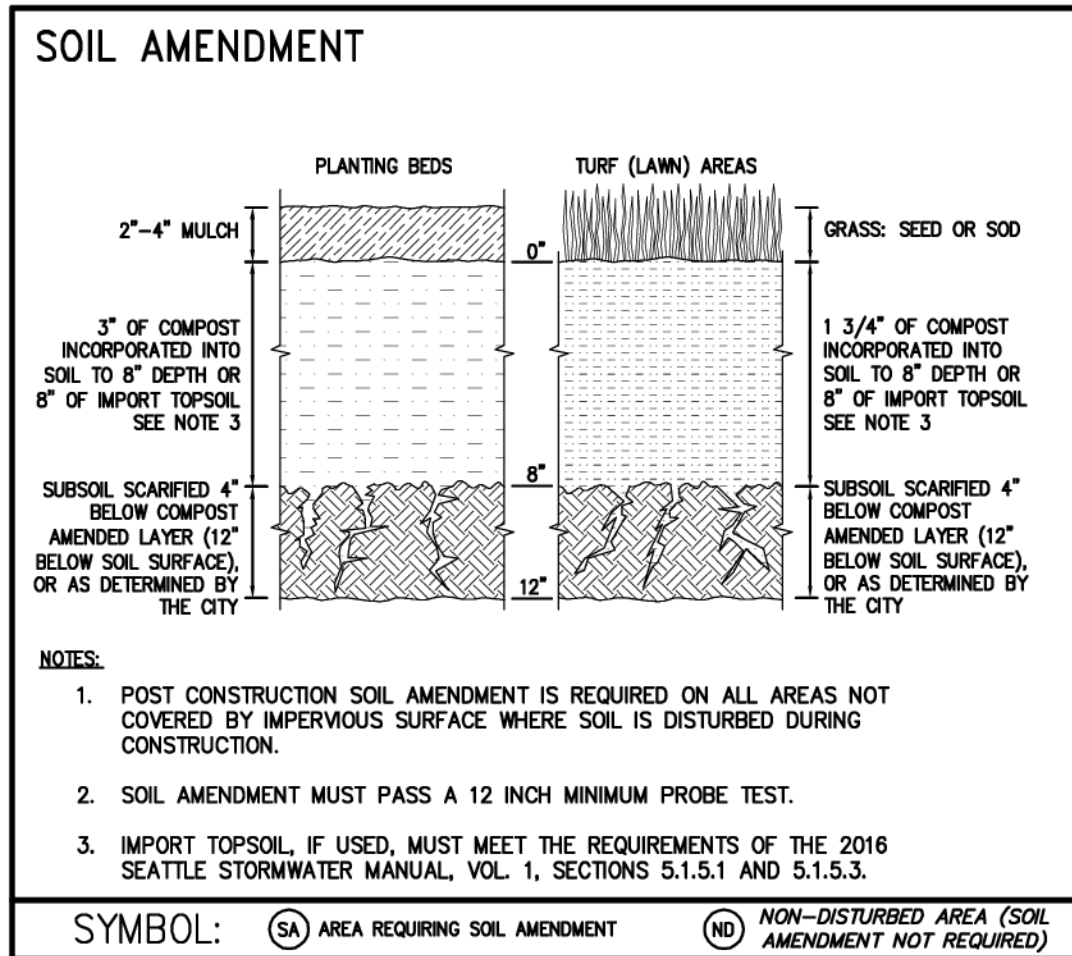
**On-site Stormwater Management**

Number of roof areas	19
Number of other surface areas	3

Surface	Surfaces	On-site BMP	Contrib. Area (sf)	Facility Size (sf)	Facility Configuration
1	Roof:Roof Area Tributary	Non-infiltrating Bioretention #1	248	14 sf	Vertical sides 6 inch
2	Roof:Roof Area Tributary	Non-infiltrating Bioretention #2	223	12 sf	Vertical sides 6 inch
3	Roof:Roof Area Tributary	Non-infiltrating Bioretention #3	222	12 sf	Vertical sides 6 inch
4	Roof:Roof Area Tributary	Non-infiltrating Bioretention #4	223	12 sf	Vertical sides 6 inch
5	Roof:Roof Area Tributary	Non-infiltrating Bioretention #5	222	12 sf	Vertical sides 6 inch
6	Roof:Roof Area Tributary	Non-infiltrating Bioretention #6	248	14 sf	Vertical sides 6 inch
7	Roof:Roof Area Tributary	Non-infiltrating Bioretention #7	248	14 sf	Vertical sides 6 inch
8	Roof:Roof Area Tributary	Non-infiltrating Bioretention #8	223	12 sf	Vertical sides 6 inch
9	Roof:Roof Area Tributary	Non-infiltrating Bioretention #9	222	12 sf	Vertical sides 6 inch
10	Roof:Roof Area Tributary	Non-infiltrating Bioretention #10	223	12 sf	Vertical sides 6 inch
11	Roof:Roof Area Tributary	Non-infiltrating Bioretention #11	222	12 sf	Vertical sides 6 inch
12	Roof:Roof Area Tributary	Non-infiltrating Bioretention #12	248	14 sf	Vertical sides 6 inch
13	Roof:Roof Area Tributary	Non-infiltrating Bioretention #13	421	24 sf	Vertical sides 6 inch
14	Roof:Roof Area Tributary	Non-infiltrating Bioretention #14	417	23 sf	Vertical sides 6 inch
15	Roof:Roof Area Tributary	Non-infiltrating Bioretention #15	1,711	96 sf	Vertical sides 6 inch
16	Roof:Roof Area Tributary	Non-infiltrating Bioretention #16	416	23 sf	Vertical sides 6 inch
17	Roof:Roof Area Tributary	Non-infiltrating Bioretention #17	423	24 sf	Vertical sides 6 inch
18	Roof:Amenity Deck	None Feasible	402	-	-
19	Roof:Canopy	None Feasible	100	-	-
20	Surface:Impervious Pave	None Feasible	240	-	-
21	Surface:Gravel Walkway	None Feasible	765	-	-
22	Surface:Concrete Walkw	None Feasible	1,171	-	-

Total New/Replaced Roof Area	6,662	Total Roof Area Managed	6,662
Total New/Replaced Other Surface Area	2,176	Total Other Surface Managed	240
Total Area Managed	6,902	Total Volume Managed On Site	44,530 gal
Estimated compost required for soil amendment	15.8844 cy	Volume of compost required for soil amendment will be verified by the DPD Site Inspector for SDCI permitted projects.	

**POST CONSTRUCTION SOIL MANAGEMENT PLAN**



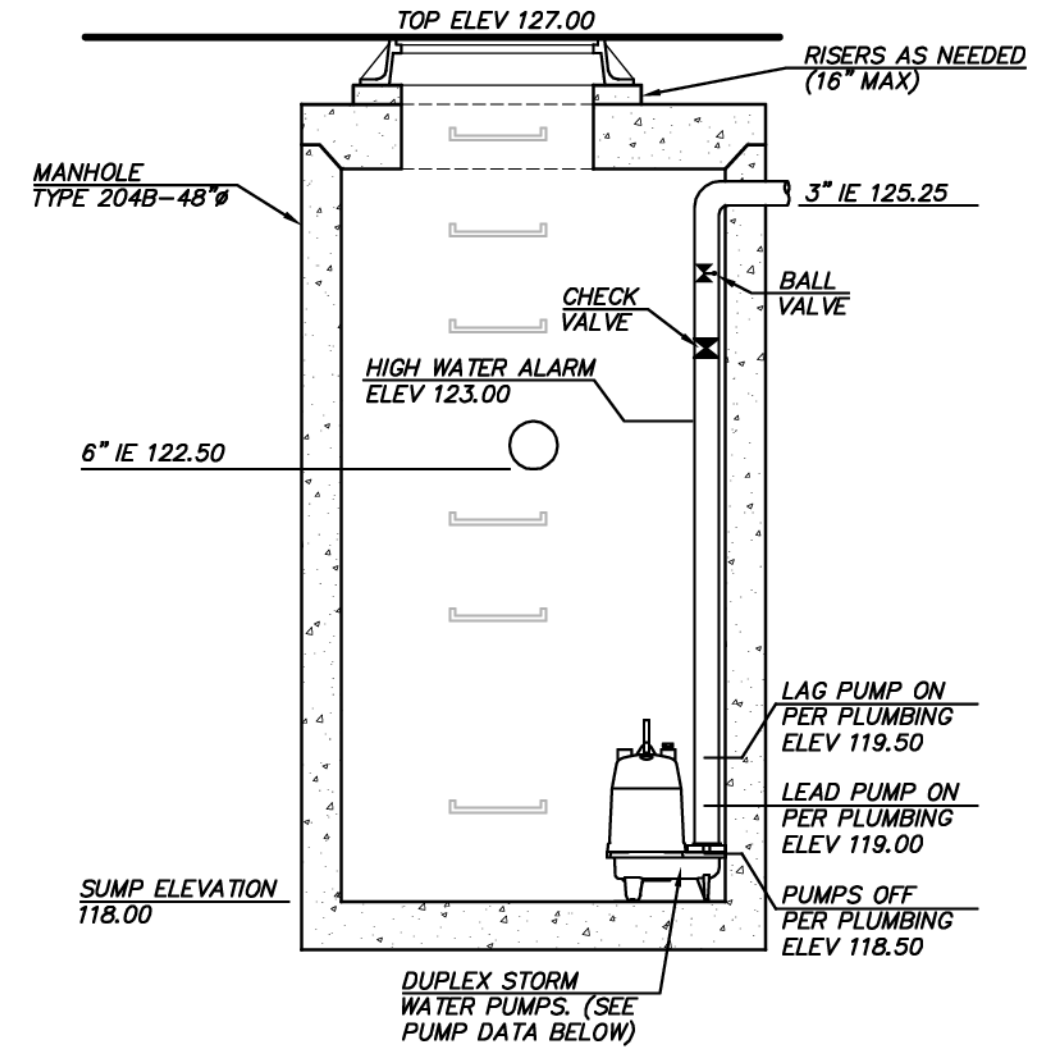
AT THE END OF PROJECT, ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL BELOW AND PROBE TO 12-INCHES AT THE SITE FINAL INSPECTION.

> LABEL ALL AREAS DISTURBED AND NOT COVERED WITH A HARD SURFACE WITHIN THE SITE AS ONE OF THE FOLLOWING: SA (SOIL AMENDMENT AREA) OR ND (NON-DISTURBED AREA). SEE DEFINITIONS BELOW. DO NOT REFERENCE AN ALTERNATE PLAN SHEET.

> AN ESTIMATE OF THE VOLUME OF COMPOST REQUIRED IS AUTOMATICALLY CALCULATED ON THE SITE AND DRAINAGE CONTROL SUMMARY SHEET REQUIRED ON THE DRAINAGE AND WASTEWATER CONTROL PLAN (DWC PLAN). THE ACTUAL VOLUME OF COMPOST REQUIRED WILL BE DETERMINED IN THE FIELD.

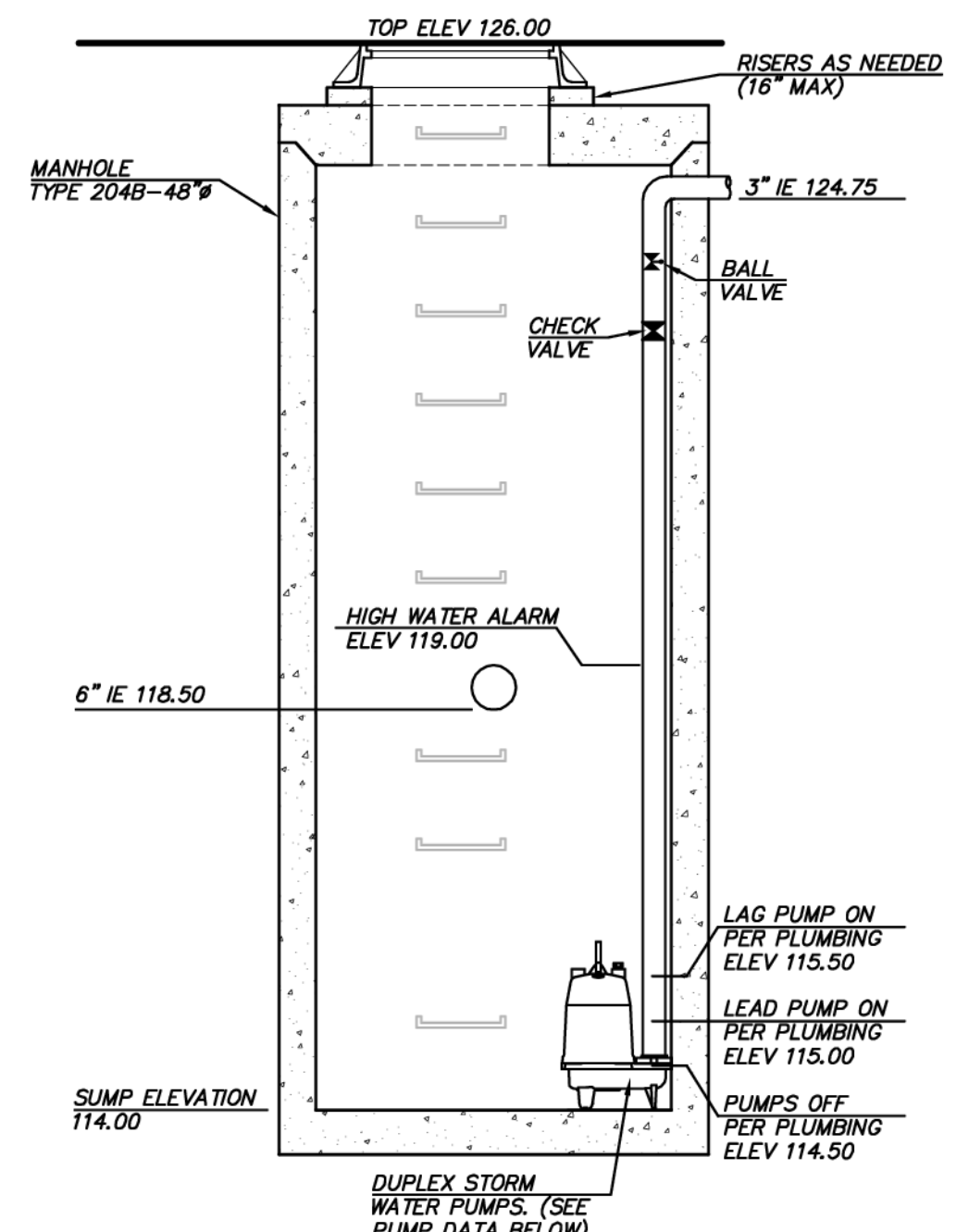
**DEFINITIONS:**

- NON-DISTURBED AREA (ND): VEGETATED AREAS THAT WILL NOT BE SUBJECT TO LAND DISTURBING ACTIVITY (SEE D) DO NOT REQUIRE SOIL AMENDMENT IF THEY ARE FENCED AND CONTINUOUSLY PROTECTED THROUGHOUT CONSTRUCTION. THE FENCING MUST BE IN PLACE AT THE FIRST GROUND DISTURBANCE INSPECTION. THIS WILL BE MONITORED BY THE DPD SITE INSPECTOR. NO DISTURBANCE, INCLUDING VEHICLE TRAFFIC OR MATERIAL STORAGE, IS ALLOWED IN THESE AREAS UNTIL FINAL INSPECTION. LABEL THESE AREAS AS (ND) IN THE PLAN VIEW.
- SOIL AMENDMENT AREA (SA): VEGETATED OR COMPOST AREAS (TURF AND LANDSCAPE) MUST BE AMENDED PER THE SOIL AMENDMENT DETAIL AND THE SUBSOIL MUST BE LOOSENOED SO IT WILL PROBE TO A DEPTH OF 12 INCHES PRIOR TO SITE FINAL INSPECTION. THIS INCLUDES AREAS IMPACTED BY CLEARING AND GRADING, STOCKPILES, SITE ACCESS, PATHWAYS AND MATERIALS OR EQUIPMENT STORAGE. LABEL THESE AREAS AS (SA) IN THE PLAN VIEW.



PUMP DATA:  
PUMP TO BE SIZED TO MEET 100 GPM @ 45' TDH EACH AND SPECIFIED BY PLUMBING ENGINEER. PUMPS TO BE INSTALLED IN DUPLEX CONFIGURATION AND TO OPERATE IN AN ALTERNATING FASHION. ALL PUMPS TO HAVE EMERGENCY BACKUP POWER (PROVIDED BY OTHERS).

NTS



PUMP DATA:  
PUMP TO BE SIZED TO MEET 108 GPM @ 45' TDH EACH AND SPECIFIED BY PLUMBING ENGINEER. PUMPS TO BE INSTALLED IN DUPLEX CONFIGURATION AND TO OPERATE IN AN ALTERNATING FASHION. ALL PUMPS TO HAVE EMERGENCY BACKUP POWER (PROVIDED BY OTHERS).

NTS

**SDCI APPROVAL STAMP**

**BLUELINE**  
25 CENTRAL WAY, SUITE 400, KIRKLAND, WA 98033  
P: 425.216.4051 F: 425.216.4052 WWW.THEBLUELINEGROUP.COM

SCALE: AS NOTED  
PROJECT MANAGER: KIMBERLY J. McNABB, PE  
PROJECT ENGINEER: MARY KOUTRELAKOS  
DESIGNER: NADIA KROUMOVA  
ISSUE DATE: 12/17/2019

REVISIONS

NO DATE BY

STANDARD DETAILS  
**7508 43RD AVE S**  
COMPREHENSIVE DRAINAGE PLAN  
SDCI PROJECT NO. 6721818-CN  
CITY OF SEATTLE WASHINGTON

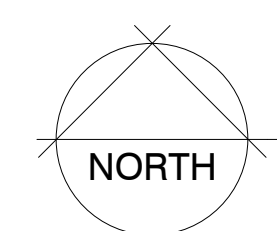
12/17/19  
JOB NUMBER: 19-233  
SHEET NAME: DETAILS  
SHT C5 OF C5



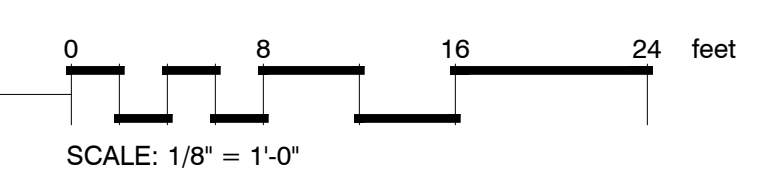
WASTE STAGING AREAS TO BE  
ASSIGNED TO SPECIFIC UNITS  
W/ SIGNAGE AND DEFINED  
BOUNDARY

AREAS BETWEEN WASTE STAGING  
AREAS TO BE PLANTED TO  
FURTHER DEFINE BORDER

TRASH STAGING AREA TO BE  
GRASSCRETE TYP.



**RENDERED  
LANDSCAPE PLAN**



Root of Design  
206.491.9545  
1104 265th St NW #218  
Stamwood, WA 98292

State of  
Washington  
registered  
Landscape Architects

*Devin Peterson*  
Devin Peterson  
certificate no. 1222

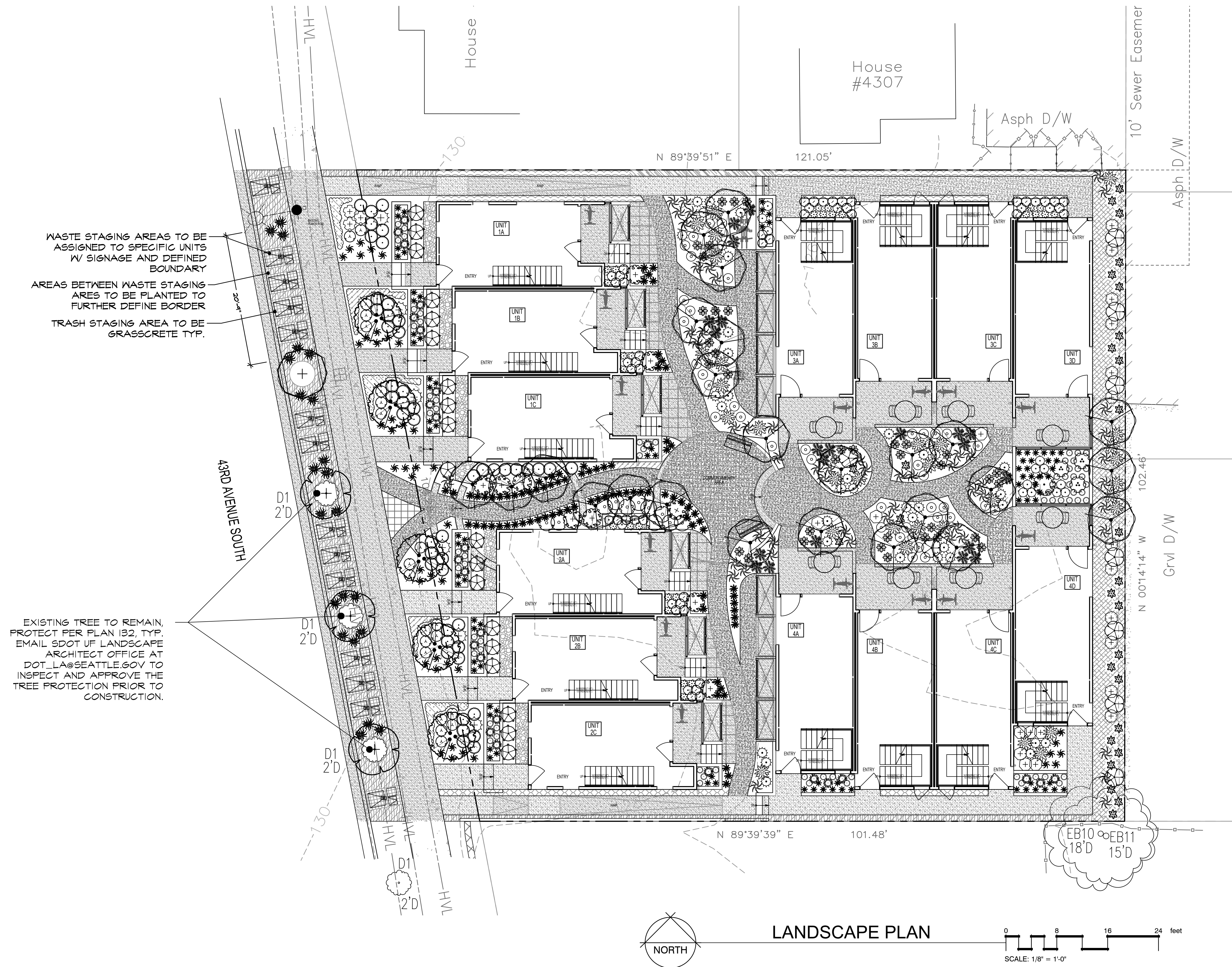
PROJECT TITLE

**RENDERED  
LANDSCAPE PLAN**  
7508 43RD AVENUE SOUTH SEATTLE, WA

DRAWN ELK	DATE 12.13.19
REVISED ELK	DATE 2.18.20

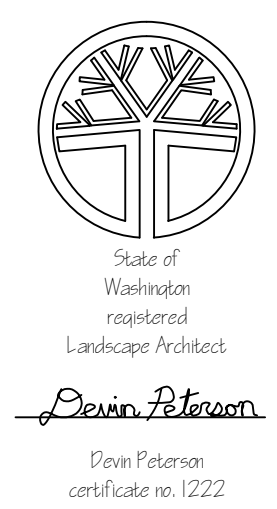
1/8" = 1'-0"

**LO**



Root of Design  
 206.441.9545  
 1104 265th St NW #218  
 Stanwood, WA 98292

*Root of Design*



PROJECT TITLE

**LANDSCAPE PLAN**  
 7508 43RD AVENUE SOUTH SEATTLE, WA

DRAWN ELK	DATE 12.13.19
REVISED ELK	DATE 2.18.20

1/8" = 1'-0"


**L1**

**PLANT SCHEDULE \***

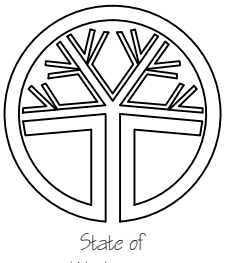
TREES	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	Acer griseum / Paperbark Maple	1.5" Cal.	No	No	5	
	Betula jacquemontii / Jacquemontii Single Stem	1.5" Cal.	No	No	25	
	Cornus 'Eddie's White Wonder' / Eddie's White Wonder Dogwood Street Tree	2"- 2.5" Cal.	No	No	1	
	Existing Tree / X Street Tree	Varies	No	No	3	
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	Arctostaphylos uva-ursi 'Vancouver Jade' / Kinikinnick	1 gal.	Yes	Yes	24" o.c.	86
	Pachysandra terminalis 'Silver Edge' / Japanese Spurge	4"pot	Yes	No	18" o.c.	62
	Rubus calycinoides 'Emerald Carpet' / Creeping Raspberry	4"pot	Yes	No	24" o.c.	101
	Sedum rupestre 'Angelina' / Yellow Stonecrop	4"pot	Yes	No	18" o.c.	17
	Sedum spurium 'Red Carpet' / Stonecrop	4"pot	Yes	No	18" o.c.	19
	Vinca minor 'Illumination' TM / Illumination Dwarf Periwinkle	4"pot	Yes	No	24" o.c.	6
SITE	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	1/8" Drain Rock	N/A				119 sf

**NOTES:**  
 -See soil amendment detail for soil specifications COS plan 142.  
 -See bioretention planter detail for bioretention specifications.  
 -All planting beds to receive minimum 3-4" of mulch.  
 -Contractor shall be responsible for providing the quantities of plants that are represented by symbols on the drawings.  
 -Street Tree required. Plant Street Tree per COS Plan 100a. Water Tree for 3 growing seasons after planting.  
 -SDOT requires two inspections for street trees. First is the pre-plant inspection. Trees are inspected before going into the ground, soil amendment/root barrier is inspected. Second is final inspection. To schedule inspections, email DOT\_LA@seattle.gov 48-72 hours advanced notice to schedule onsite inspections.  
 -All plantings and landscape elements required as part of this building permit must be maintained for the minimum required planting area or Green Factor score, new features must be added to compensate. This requirement also applies to landscape improvements in the right-of-way if used to meet Green Factor requirements (DR 30-2015).  
 -Planting of trees, shrubs and groundcovers within the City of Seattle's right of way must be performed during the period between October 1st and April 30th. Unless automatic irrigation is installed or an agreed upon contractual watering plan is made. Email DOT\_LA@seattle.gov to verify planting timelines for street trees and right of way planting.

**PLANT SCHEDULE \***

SHRUBS	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY
	Carex oshimensis 'Everillo' / Everillo Japanese Sedge	1 gal	Yes	No	43
	Cyrtomium fortunei / Japanese Holly Fern	1 gal	Yes	No	37
	Epimedium x rubrum / Red Barrenwort	1 gal	Yes	No	39
	Erica carnea 'Golden Starlet' / Golden Heath	1 gal	Yes	No	21
	Gaultheria shallon / Salal	1 gal	Yes	Yes	21
	Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa	1 gal	Yes	No	54
	Hosta x 'Krossa Regal' / Krossa Regal Hosta	1 gal	Yes	No	36
	Hydrangea quercifolia / Oakleaf Hydrangea	3 gal	Yes	No	10
	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal	Yes	No	85
	Lonicera pileata 'Moss Green' / Moss Green Honeysuckle	2 gal	Yes	No	48
	Mahonia x media 'Charity' / Mahonia	5 gal	Yes	Yes	4
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	2 gal	Yes	No	3
	Nandina domestica 'Sienna Sunrise' / Heavenly Bamboo	5 gal	Yes	No	19
	Ophiopogon planiscapus 'Nigrescens' / Black Mondo Grass	1 gal	Yes	No	9,367
	Osmanthus heterophyllus 'Goshiki' / Goshiki Holly	2 gal	Yes	No	6
	Osunda cinnamomea / Cinnamon Fern	3 gal	Yes	No	21
	Pennisetum alopecuroides 'Hamel' / Hamel Dwarf Fountain Grass	1 gal	Yes	No	22
	Pieris japonica 'Cavatine' / Lily of the Valley Bush	3 gal	Yes	No	31
	Polystichum munitum / Western Sword Fern	1 gal	Yes	Yes	28
	Sarcococca ruscifolia / Fragrant Sarcococca	2 gal	Yes	No	11
BIORETENTION	BOTANICAL / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY
	Acorus gramineus 'Ogon' / Golden Variegated Sweetflag	1 gal	Yes	No	38
	Carex obnupta / Slough Sedge	1 gal	Yes	Yes	68
	Cornus sericea 'Flavrimea' / Yellow Twig Dogwood	5 gal	Yes	No	3
	Cornus sericea 'Kelsey' / Kelsey Dogwood	3 gal	Yes	Yes	25
	Juncus inflexus 'Blue Arrow' / Blue Arrow Juncus	1 gal	Yes	No	86
	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	1 gal	Yes	No	26
	Polygonatum odoratum / Solomon's Seal	1 gal	Yes	Yes	27
	Sambucus nigra 'Black Lace' / Black Lace Elderberry	5 gal	Yes	No	1

Root of Design  
 206.491.9545  
 7104 265th St NW #218  
 Stanwood, WA 98292



Devin Peterson  
 Devin Peterson  
 certificate no. 1222

PROJECT TITLE

**PLANT SCHEDULE**  
 7508 43RD AVENUE SOUTH SEATTLE, WA

DRAWN ELK DATE 12.13.19  
 REVISED ELK DATE 2.18.20

NTS

**2**



SEATTLE green factor

Green Factor Score Sheet

Project title:  Parcel size (enter this value first):  11,400

enter sq ft of parcel:  SCORE: 0.681

Landscape Elements**	Totals from GF worksheet	Factor	Total
<b>A Landscaped areas (select one of the following for each area)</b>			
1 Landscaped areas with a soil depth of less than 24"	<input type="text"/> 0	0.1	-
2 Landscaped areas with a soil depth of 24" or greater	<input type="text"/> 3451	0.6	2,070.6
3 Bioretention facilities	<input type="text"/> 399	1.0	399.0
<b>B Plantings (credit for plants in landscaped areas from Section A)</b>			
1 Mulch, ground covers, or other plants less than 2' tall at maturity	<input type="text"/> 3563	0.1	356
2 Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	<input type="text"/> 819	0.828	2,948
3 Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	<input type="text"/> 31	2325	698
4 Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	<input type="text"/> 0	0	0
5 Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	<input type="text"/> 0	0	0
6 Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	<input type="text"/> 0	0	0
7 Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	<input type="text"/> 0	0.8	-
<b>C Green roofs</b>			
1 Over at least 2" and less than 4" of growth medium	<input type="text"/> 0	0.4	-
2 Over at least 4" of growth medium	<input type="text"/> 0	0.7	-
<b>D Vegetated walls</b>			
E Approved water features	<input type="text"/> 0	0.7	-
<b>F Permeable paving</b>			
1 Permeable paving over at least 6" and less than 24" of soil or gravel	<input type="text"/> 0	0.2	-
2 Permeable paving over at least 24" of soil or gravel	<input type="text"/> 0	0.5	-
<b>G Structural soil systems</b>			
<input type="text"/> 0	0.2	-	-
<b>H Bonuses</b>			
sub-total of sq ft = 19,566			
1 Drought-tolerant or native plant species	<input type="text"/> 9828	0.1	982.8
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	<input type="text"/> 0	0.2	-
3 Landscaping visible to passersby from adjacent public right of way or public open spaces	<input type="text"/> 3,118	0.1	312
4 Landscaping in food cultivation	<input type="text"/> 0	0.1	-
Green Factor numerator =			7,766

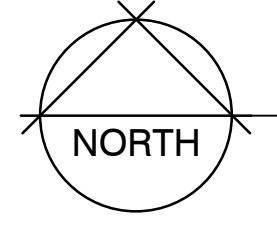
\* Do not count public rights-of-way in parcel size calculation.  
 \*\* You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

Revised 4/8/09

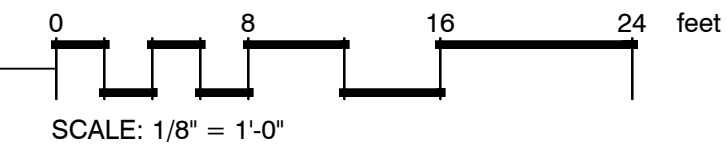
SEATTLE green factor

Green Factor Worksheet

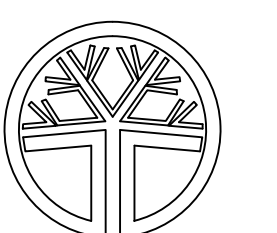
	Planting Area																									TOTAL**	
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25		
A1 square feet																										0	
A2 square feet	578	177	16	128	13	129	160	108	92	37	10	126	12	127	83	52	157	139	177	526	187	46	270	25	76	3451	
A3 square feet	17	11	18	11	18	11	18	11	13	17		11	18	11	18		11	41	25		98			25	25	399	
B1 # of plants	410	175	27	127	24	128	164	111	102	37	21	125	23	126	83	63	198	164	177	526	187	144	270	50	101	3563	
B2 # of trees	22	35	14	33	13	32	52	44	30	13	11	33	13	33		11	62	17	38	68	50	73	67	22	35	819	
B3 # of trees	1			1		1	3	2	1	1		1		1			3		4	3	3	1	5			31	
B4 # of trees																										0	
B5 # of trees																										0	
B6 # of trees																										0	
B7 # of trees																										0	
C1 square feet																										0	
C2 square feet																										0	
D square feet																										0	
E square feet																										0	
F1 square feet																										0	
F2 square feet																										0	
G square feet																										0	
H1 square feet	264	420	168	396	156	384	624	528	360	156	132	396	156	396		132	744	204	432	816	600	876	804	264	420	9828	
H2 square feet																											0
H3 square feet	339	420		471		391	72	48	435			471		471												3118	
H4 square feet																											0



GREEN FACTOR PLAN



Root of Design  
 206.491.9545  
 1104 265th St NW #218  
 Stanwood, WA 98292



Devin Peterson  
 Devin Peterson  
 certificate no. 1222

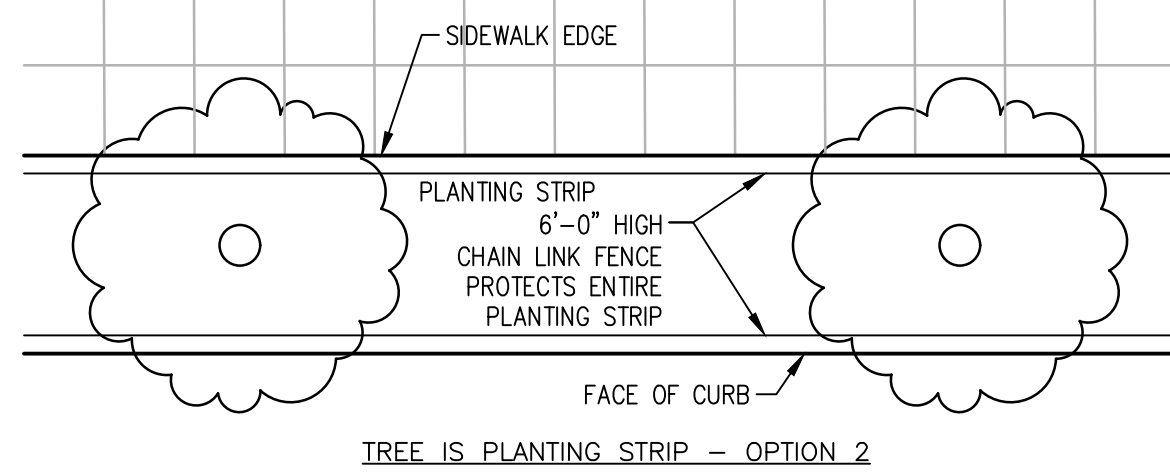
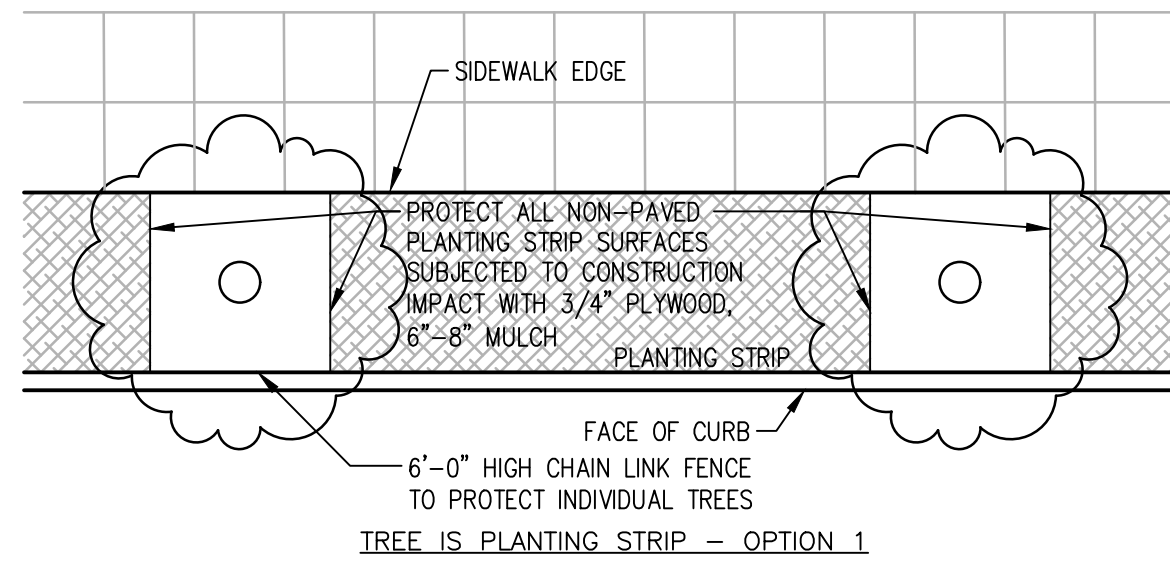
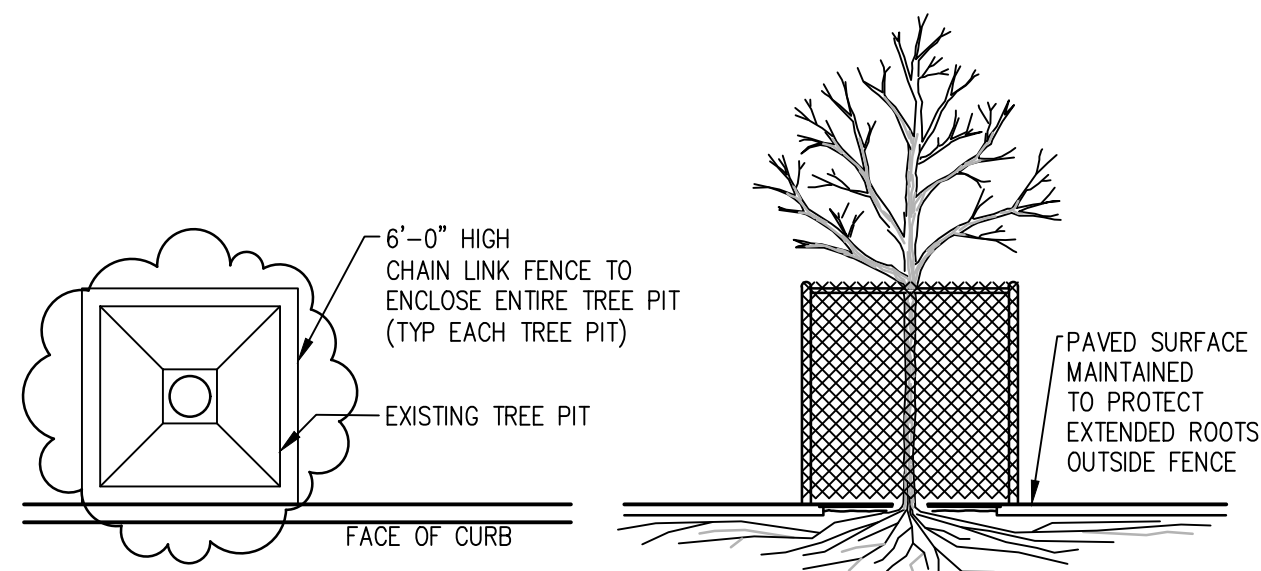
PROJECT TITLE

LANDSCAPE REQUIREMENTS  
 SUMMARY PLAN  
 7508 43RD AVENUE SOUTH SEATTLE, WA

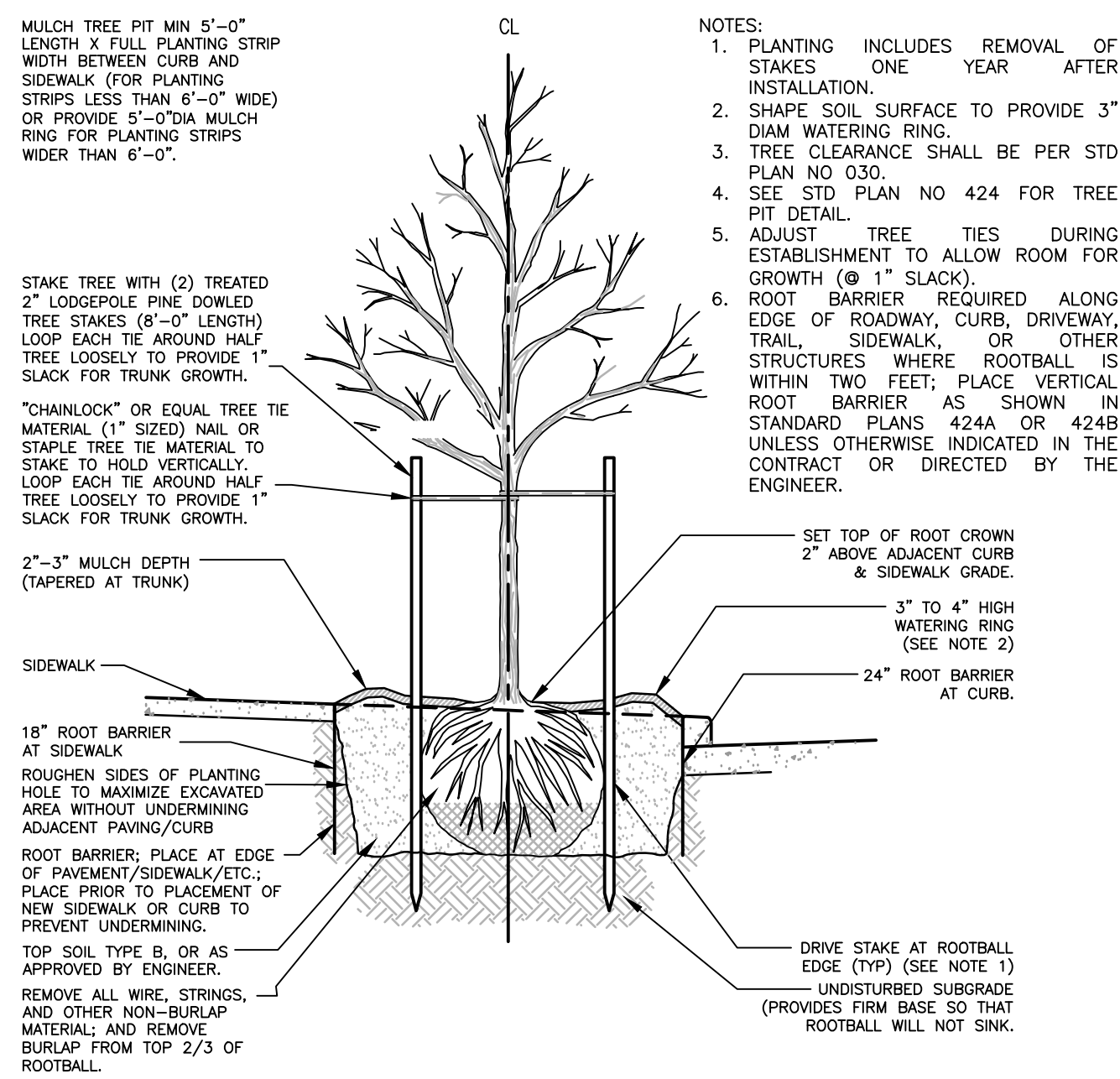
DRAWN: ELK DATE: 12.13.19  
 REVISED: ELK DATE: 2.18.20

1/8" = 1'-0"

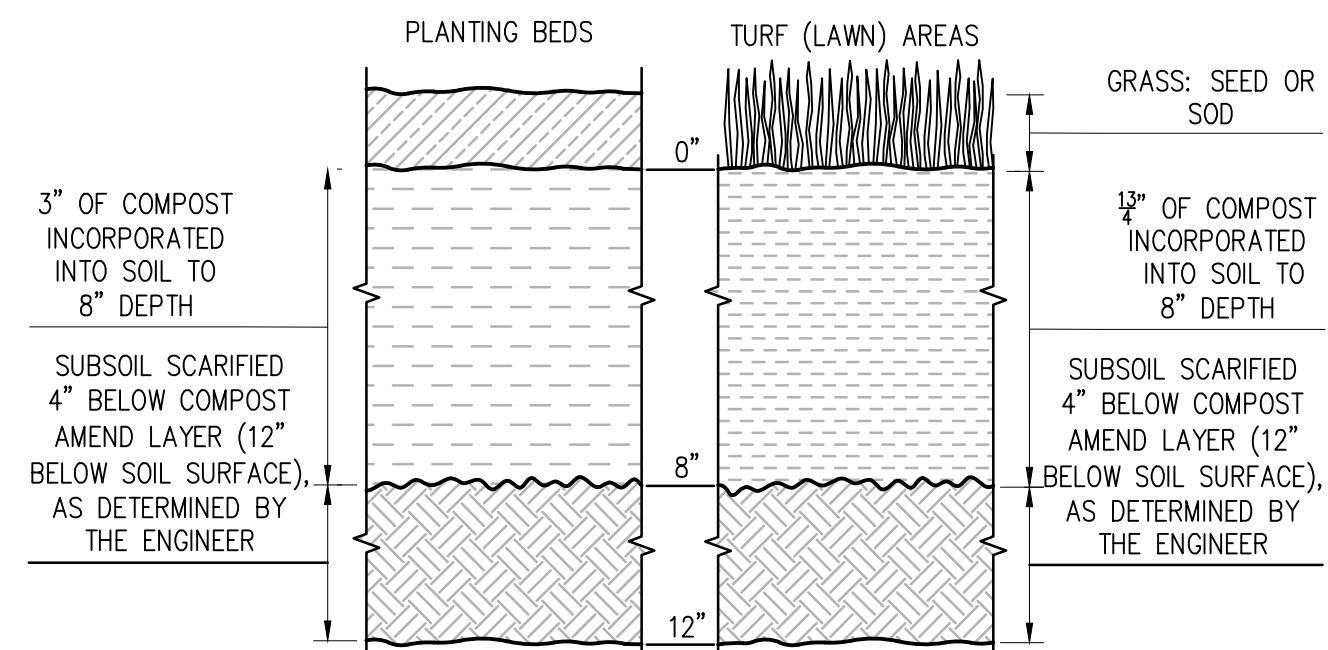
L3



**1 TREE PROTECTION DURING CONSTRUCTION**  
NTS STANDARD PLAN NO 132, CITY OF SEATTLE

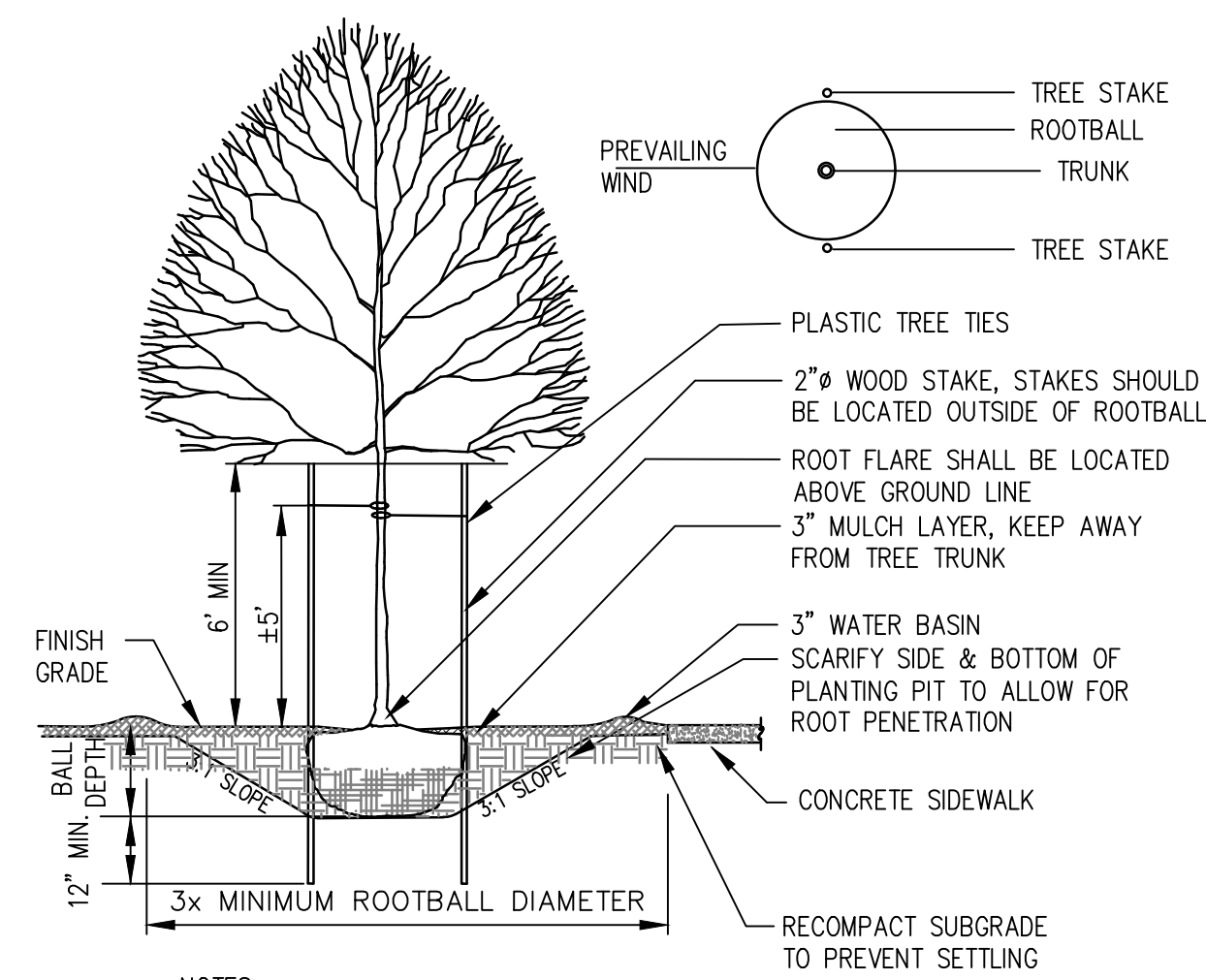


**2 DECIDUOUS TREE PLANTING IN PLANTING STRIP**  
NTS STANDARD PLAN NO 1006, CITY OF SEATTLE



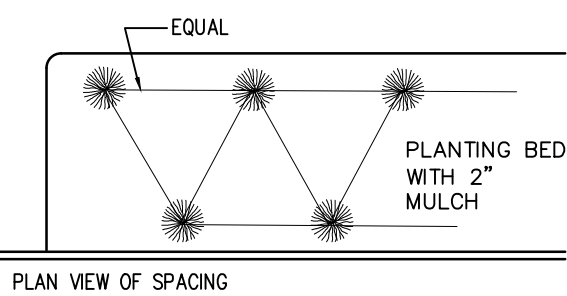
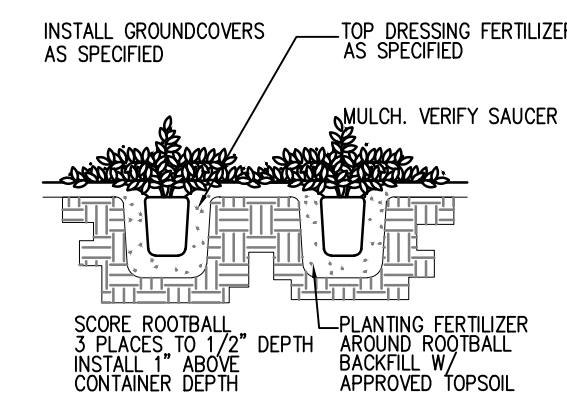
- NOTES:**
- ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
  - SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
  - COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
  - TURF AREAS SHALL RECEIVE 1.75 INCHES OF COMPOST TILLED IN TO 8-IN DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 20-25% COMPOST BY VOLUME. THEN PLANT GRASS SEED OR SOD PER SPECIFICATION.
  - PLANTING BEDS SHALL RECEIVE 3 INCHES OF COMPOST TILLED INTO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING WITH 2-4 INCHES OF ARBORIST WOOD CHIP OR APPROVED EQUAL. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS, ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

**3 SOIL AMENDMENT AND DEPTH**  
NTS STANDARD PLAN NO 142, CITY OF SEATTLE

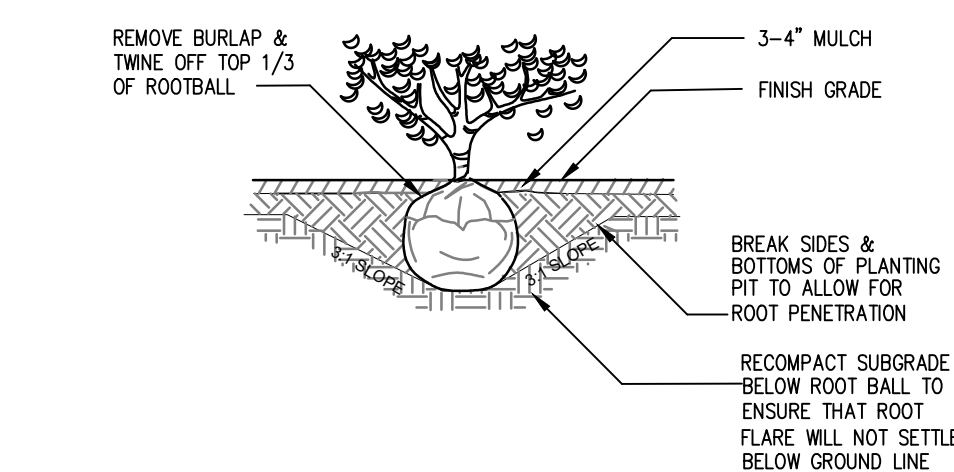


- NOTES:**
- TREE PIT SHALL NOT BE LESS THAN (3) TIMES ROOT BALL DIA.
  - CUT ALL TIES AND FOLD BACK BURLAP FROM UPPER 1/3 OF ROOT BALL
  - REMOVE ALL PLASTIC AND TWINE
  - TREE STAKES PERPENDICULAR TO THE PREVAILING WIND
  - PLANT TREES 2" HIGHER THAN DEPTH GROWN IN NURSERY

**4 TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
NTS



**5 TYPICAL GROUNDCOVER PLANTING DETAIL**  
NTS



**6 TYPICAL SHRUB PLANTING DETAIL**  
NTS