



Lake Union

LAKEVIEW  
EDG #1  
City Project: 3032232-EG

Mtg Date:



PB ARCHITECTS INC., P.S.  
5506 6TH AVENUE S. SEATTLE, WA 98108

LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

COVER SHEET  
19 OCT 2019  
1

## *PROJECT TEAM*

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### **Property Owners**

John DeFeo  
Polly Teeter  
Michael and Anne Repass  
Contact Person: John DeFeo (project manager)  
Address: 1500 Broadway E.  
Seattle, WA 98102

### **Architects**

PB Architects Inc. P.S.  
Contact Person: Michael Shreve  
Address: 5506 6th Ave. S. Suite 202  
Seattle, WA 98108

### **Geotechnical Engineers**

Terragon Consulting  
Contact Person: Richard Luark  
Address: 21905 64th Ave. W, Suite 100  
Mountlake Terrace, WA 98043

### **Arborist**

Tree Solutions  
Contact Person: Sean Dugan  
Address: 2940 Westlake Ave. N. Suite 200  
Seattle, WA 98109

### **Civil Engineer**

Bush Roed and Hitching Inc.  
Contact Person: Ted Dimof  
Address: 2009 Minor Ave. E.  
Seattle, WA 98102

### **Landscape Architect**

HBB Landscape Architecture  
Contact Person: Aaron Luoma  
Address: 215 Westlake Ave. N.  
Seattle, WA 98109

### **Surveyor**

Chadwick and Winters  
Contact Person: Brandon Winters  
Address: 1422 N.W. 85th St.  
Seattle, WA 98177

## *SCOPE OF WORK*

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The project requires a Contract Rezone which includes:

- Rezone from SF 5000 to LR-2, ECA Variance, Master Use Permit, Lot Line Adjustment and City Council approval. One of the Contract Rezone requirements is the site is subject to Mandatory Housing Affordability requirements

The existing site consists of 5 properties with 4 ownerships zoned Single Family 5000. The proposal would result in two parcels. The uphill portion of the site with the existing house (1500 Broadway E.) would retain the Single Family 5000 zoning and the remainder is proposed to be rezoned LR-2.

## *PROJECT GOALS*

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The project goals are to provide multi family housing with 35 to 40 dwelling units over below grade parking garage of 35 to 40 stalls, stabilize and mitigate the known and potential slide. A majority of the site is steep slope. The mitigation features are: Use the buildings as a barrier to prevent potential slides from exiting on to Lakeview Blvd. E., Remove trees with shallow root structure (33 trees have fallen on the site in recent years) and invasive vegetation. Replace the trees with trees that have deeper root structure to help stabilize the steep slope, restore the site with native plants and ground cover, and provide maintenance procedures for trees and vegetation.

## *COMMUNITY OUTREACH*

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A public outreach endeavor has been completed and approved by the City. One letter was received concerned about how the proposed project would affect the existing storm/sewer line that serves 5 houses above the project. Six persons attended the onsite meeting and the summary of the design related meeting's questions and comments were as follows:  
Will you be tearing down all of the trees? Will the vast majority of the trees be gone? Is the retaining wall going to the edge of the property?  
Has the project been fully approved? How will you haul things away?  
What's next after this? I live at the house down the street on the corner and trucks have gone through my yard.

## *INDEX*

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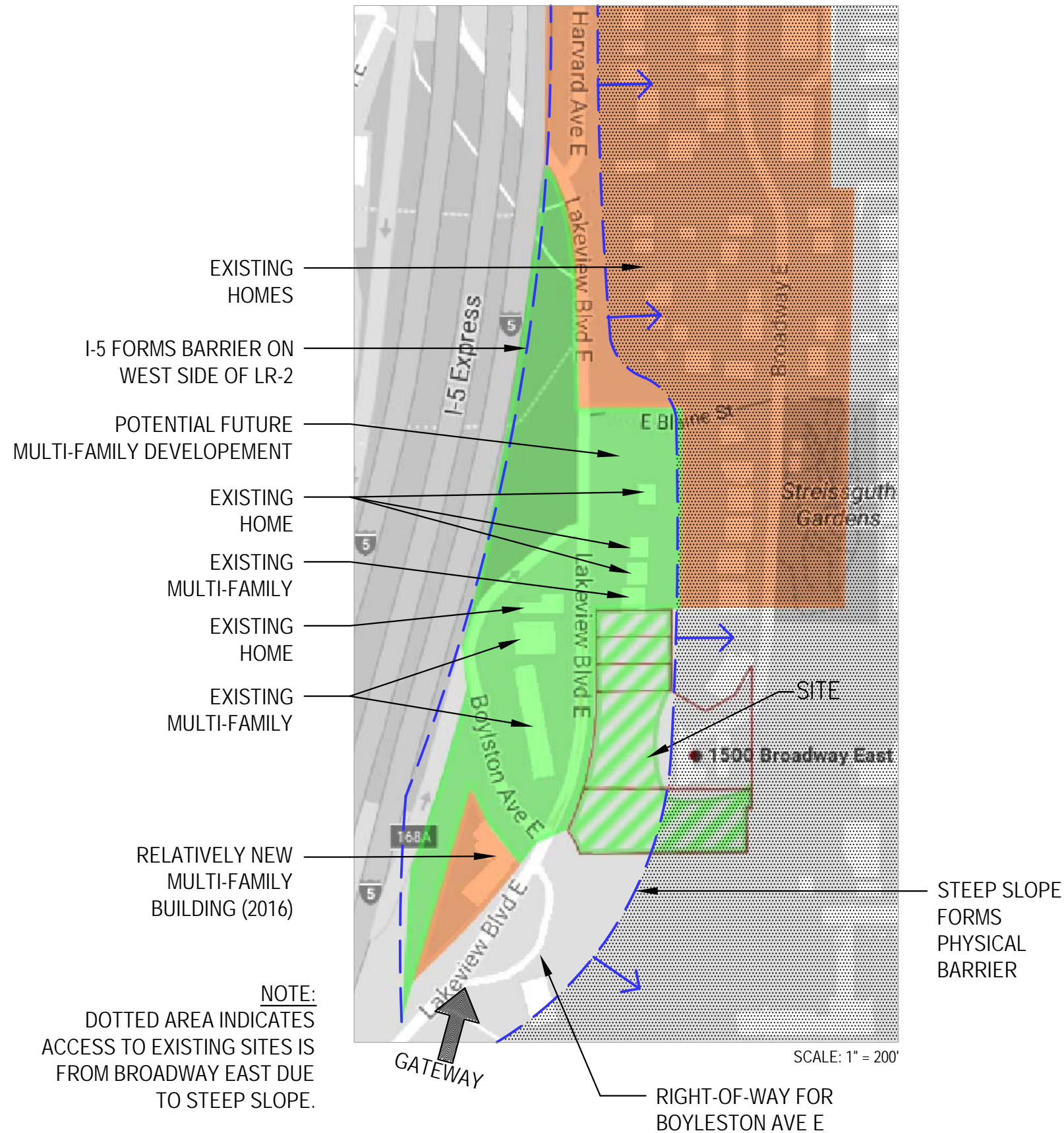
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*ATTACHMENTS*  
Geotechnical Report  
Arborist Report

LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

PROJECT INFORMATON &  
INDEX  
19 OCT 2019  
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# RE-ZONE 'GATEWAY' RATIONALE



## DESIGN GUIDELINES

### CS2 Urban Pattern and Form

#### A. Location in the City and Neighborhood:




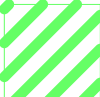
- 1. Sense of Place:** street pattern, slopes, site with prominent visibility, natural areas, open spaces, land seen as a gateway to the community.  
The proposed site is located in an isolated area constricted by the I-5 freeway to the west, steep slope to the east, and the steep slope necking down Lakeview Blvd. E on the north and south ends of the site gives the immediate area a sense of place. The site will have the potential for prominent visibility while traveling on Lakeview Blvd. E. from both the north and south. The site is seen as a potential "gateway" to this isolated area and evolving neighborhood. Lakeview Blvd. E. gives convenient access to downtown Seattle, Lake Union, and the U of W. 73% plus or minus of the developed site will be in open space. The Collonade Park under I-5 includes the Mountain Bike Course, off leash, and pedestrian access to Eastlake metro buses and Lake Union. East Blaine Stair Climb also allows pedestrian access from the Lakeview Blvd. E. to 10 Avenue East. Other parks within walking distance are Volunteer Park and Streissguth Gardens.
- 2. Architectural Presence:** The site is seen as the potential for high profile design, requiring design detail, articulation and quality materials.

### CS3 Architectural Context and Character

#### A. Emphasizing positive neighborhood attributes:

- 4. Evolving neighborhoods:** The proposed site is within an isolated area that contains existing multi-family and LR-2 zoned lots that are undeveloped or contain single family homes. The proposed project will show the way for future development by stabilizing the known and potential landslide sites, establishing vegetation that helps mitigate landslides, and to establish a positive and desirable context for others to build upon in the future.  
Considering the recent history of development within the City, one can assume the existing single family housing (4 houses) and undeveloped property within the described LR-2 zoning node will eventually become multifamily housing. The City is short of housing at all economic levels and re-zoning the site from Single Family 5000 to LR-2 will contribute to easing the housing shortage. The proposed site development will also have to follow the Mandatory Housing Affordability criteria. The development of the proposed project will result in affordable housing funds for the City to build affordable housing elsewhere.

## LEGEND

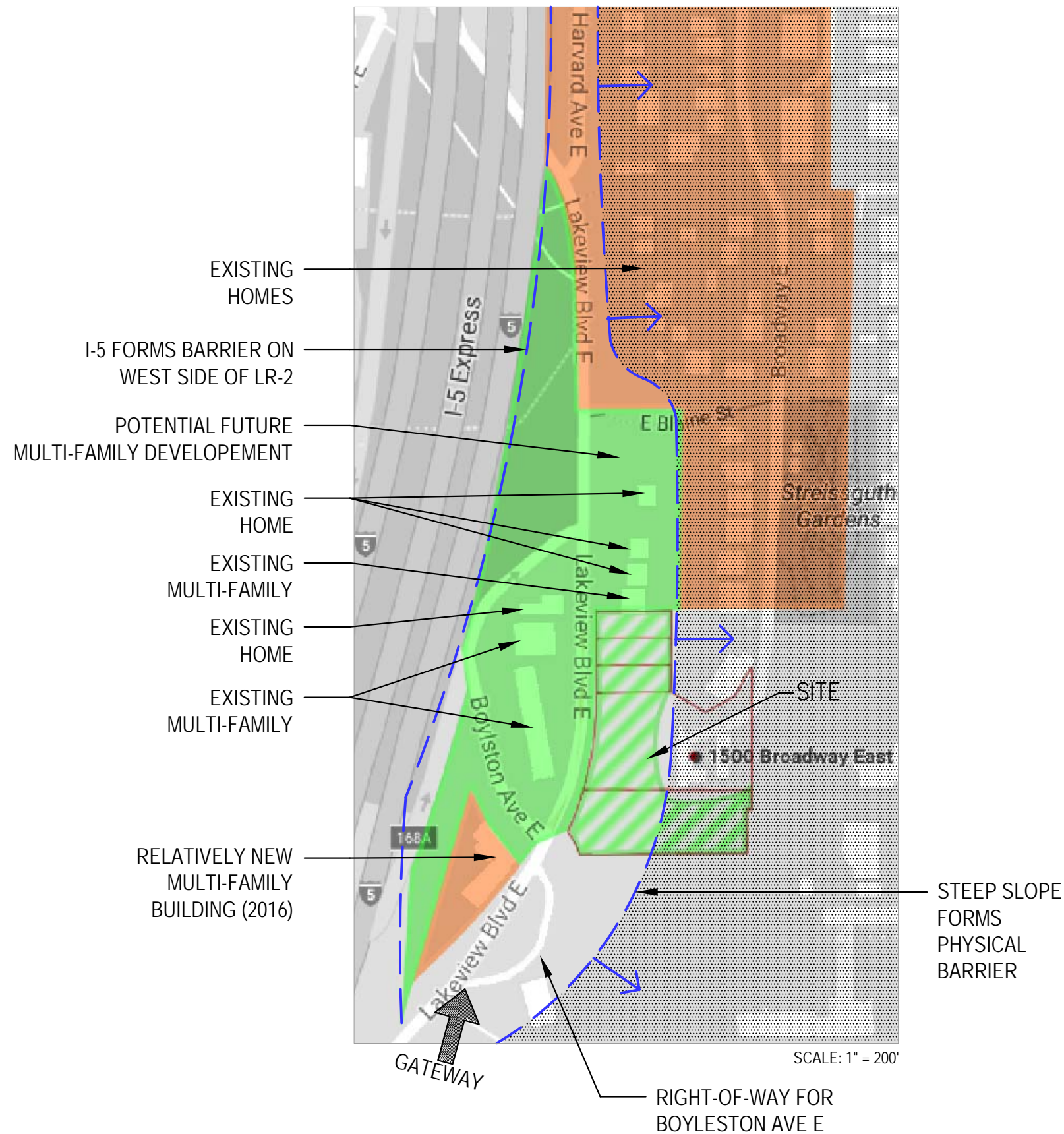
	EXISTING LR-1 ZONE		EXISTING SF 5000 ZONE
	EXISTING LR-2 ZONE		PROPOSED EXTENSION OF LR-2 ZONING



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REZONE 'GATEWAY' RATIONALE  
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## SITE CHALLENGES

1. The site is in an Environmentally Critical Area do to the slope of the site being over 40% and is a known and potential slide area site. Five slides have occurred on the site in the past two years with three of the slides exiting into the street right of way.
2. The maximum disturbance area for construction in an Environmentally Critical Area is limited to 30% of the steep slope area, therefore limiting the potential number of dwelling units.
3. The proposed site appears to be in an area of an emerging/evolving neighborhood.
4. The proposed site appears to have the potential of being a Gateway development for the existing and future multi family zoning adjacent to the proposal.
5. The majority of the existing trees are Big Leaf Maples. The Maples are in bad structural and health condition. The Maples have shallow root structures, are over height for the soil conditions, and infused with English Ivy which has contributed to multiple tree collapses. 29 trees have fallen recently and more are bent and leaning.
6. The existing plants and ground cover are invasive species.
7. The site is too steep to provide common amenity space outside of the building footprints.
8. The site is too steep to allow vehicle access from sides or rear yards.
9. The existing surrounding buildings on Lakeview Blvd. E. give few design cues for the design of the proposed buildings. There is not a consistent architectural vernacular. The design cues that exist which influence the proposed design are the height and width of the two multi-family buildings immediately west of the proposed development.

## SITE OPPORTUNITIES

1. Mitigate the known and potential slide area by providing the following:
  - 1.1. Design the buildings to block landslides from exiting on to Lakeview Blvd. E.
  - 1.2. The Arborist report recommends the removal of a majority of the trees and invasive vegetation and replace with native species that are more appropriate to the soil conditions and help mitigate future landslides.
2. Provide views of Lake Union and Olympic Mountains.
3. The top level roofs can be designed as "Green Roof" and common deck space. The lower level roof decks can be designed to have private decks and landscaping.
4. Provide recessed main entries to buildings with landscaping and entry canopies.
5. Minimize the street visual of garage doors by recessing back from the building street faces and landscaping.
6. Provide Lakeview Blvd. E. right of way improvements that include new sidewalks, street trees, and landscaping.
7. Remove power lines and replace with underground service.
8. The site appears to have the potential of being a gateway building into a confined and emerging area. The project has the potential of setting the design tone for the remaining under developed LR-2 sites north of the proposed site on Lakeview Blvd. E.
9. Take advantage of the steep slope and design the buildings to have different levels stepping back from Lakeview Blvd. E. therefore, minimizing the bulk and visual impact of the proposed buildings.



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SITE CHALLENGES & OPPORTUNITIES

19 OCT 2019

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**EXISTING PARCEL DESCRIPTIONS**

**TAX PARCEL NO. 2025049158**

PARCEL B OF CITY OF SEATTLE SHORT PLAT NUMBER 812660351, RECORDED UNDER RECORDING NUMBER 8202180472, SAID SHORT PLAT BEING A SUBDIVISION OF A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON;

TOGETHER WITH AN EASEMENT 30 FT. IN WIDTH FOR ROAD PURPOSES DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE INTERSECTION OF THE NORTH LINE OF SAID SUBDIVISION WITH THE WEST MARGIN OF BROADWAY EAST, THENCE S 00°07'00" W, ALONG THE SOUTHERLY EXTENSION OF SAID WEST MARGIN, 152.03 FEET. THENCE N 89°19'33" E, 30.00 FT., THENCE N 00°07'00" E, 152.03 FEET TO SAID NORTH LINE; THENCE S 89°1'9'33" W, ALONG SAID NORTH LINE, 30.00 FEET TO THE **TRUE POINT OF BEGINNING**.

**TAX PARCEL NO. 2025049157**

THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 4

EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF SAID SUBDIVISION WITH THE WEST MARGIN OF BROADWAY NORTH; THENCE S 00°07'00" W ALONG SAID WEST MARGIN EXTENDED SOUTHERLY 283.90 FT. TO A POINT DESIGNATED IN THIS DESCRIPTION AS POINT "M" AND THE **TRUE POINT OF BEGINNING** OF THIS DESCRIPTION; THENCE CONTINUING S 00°07'00" W, 30.00 FT.; THENCE S 89°14'15" W, 5.00 FT.; THENCE S 00°04'25" E, 70.00 FT. TO THE SOUTH BOUNDARY OF A TRACT OF LAND DESCRIBED IN INSTRUMENT HEARING AUDITOR'S FILE NO. 385251 2; THENCE S 89°14'15" W, 248.9 FT., MORE OR LESS, ALONG SAID SOUTH BOUNDARY TO THE EASTERLY MARGIN OF LAKEVIEW BOULEVARD EXTENSION, AS ESTABLISHED BY ORDINANCE NO. 35811, AS AMENDED BY ORDINANCE NO. 56727, OF THE CITY OF SEATTLE; THENCE NORTHERLY ALONG SAID EASTERLY MARGIN TO A POINT FROM WHICH SAID POINT "M" BEARS N 89°19'33" E, THENCE N 89°19'33" E TO SAID POINT "M" AND THE **TRUE POINT OF BEGINNING**

TOGETHER WITH AN EASEMENT 30 FT. IN WIDTH FOR ROAD PURPOSES DESCRIBED AS FOLLOWS: **BEGINNING** AT THE INTERSECTION OF THE NORTH LINE OF SAID SUBDIVISION WITH THE WEST MARGIN OF BROADWAY NORTH; THENCE S 00°07'00" W, ALONG SAID WEST MARGIN EXTENDED SOUTHERLY 152.03 FT.; THENCE N 89°19'33" E, 30.00 FT.; THENCE N 00°07'00" E, 152.03 FT. TO SAID NORTH LINE; THENCE S 89°1'9'33" W, ALONG SAID NORTH LINE 30.00 FT. TO THE **PLACE OF BEGINNING**.

AND TOGETHER WITH AN EASEMENT 30 FT. IN WIDTH FOR ROAD PURPOSES, THE CENTER LINE OF WHICH IS DESCRIBED AS FOLLOWS: COMMENCING AT SAID POINT "M"; THENCE S 89°19'33" W, 36.71 FT. TO THE SOUTHERLY END OF SAID CENTERLINE AND THE **TRUE POINT OF BEGINNING**; THENCE N 19°44'12" W, 52.88 FT. TO A POINT OF CURVE FROM WHICH THE CENTER OF CURVE BEARS N 70°15'48" E, A DISTANCE OF 55.53 FT. THROUGH AN ANGULAR DISTANCE OF 61°26'54" TO A POINT OF TANGENCY; THENCE N 41°42' E, 66.22 FT. TO A POINT ON THE EASTERLY LINE OF A TRACT OF LAND DESCRIBED IN INSTRUMENT BEARING AUDITOR'S FILE NO. 385251 2, SAID POINT BEING THE NORTHERLY END OF SAID CENTER LINE, FROM WHICH POINT "M" BEARS S 00°07'00" W, 154.47 FT.

**TAX PARCEL NO. 2025049165**

PARCEL A OF CITY OF SEATTLE SHORT PLAT NUMBER 8907917 AS PER KING COUNTY RECORDING NUMBER 91 02281 046

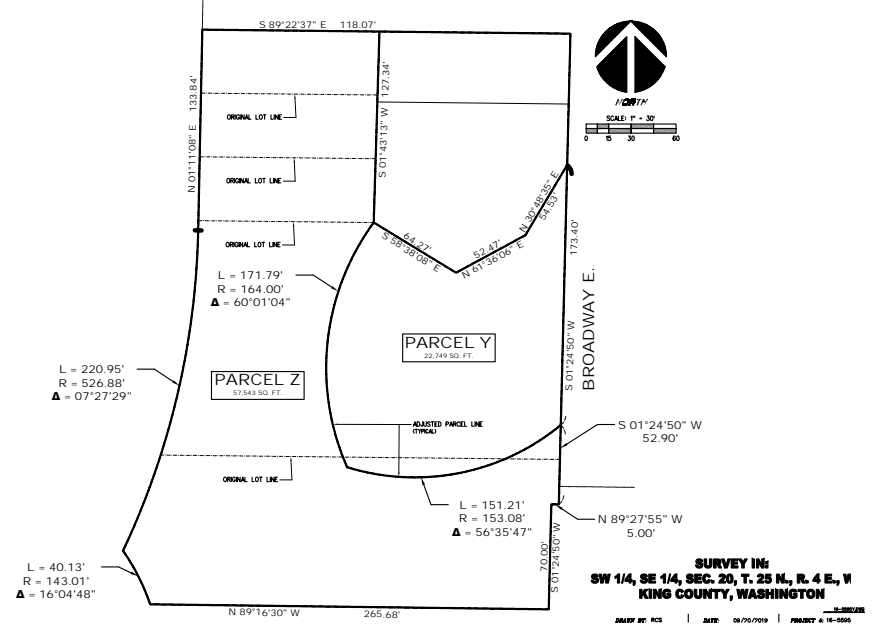
**TAX PARCEL NO. 2025049166**

PARCEL B OF CITY OF SEATTLE SHORT PLAT NUMBER 8907917 AS PER KING COUNTY RECORDING NUMBER 91 02281 046

**TAX PARCEL NO. 2025049167**

PARCEL C OF CITY OF SEATTLE SHORT PLAT NUMBER 8907917 AS PER KING COUNTY RECORDING NUMBER 91 02281 046

LOT BOUNDARY ADJUSTMENT NO. 3035192-LU



**ADJUSTED PARCEL DESCRIPTIONS**

**PARCEL Y**

THAT PORTION OF PARCEL B OF CITY OF SEATTLE SHORT PLAT NUMBER 812660351, RECORDED UNDER RECORDING NUMBER 8202180472,

TOGETHER WITH THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHEAST CORNER OF SAID PARCEL B, THENCE S 01°24'50" W ALONG THE EAST LINE OF SAID PARCEL FOR A DISTANCE OF 173.40 FT. TO A POINT OF CURVATURE; THENCE FOLLOWING A CURVE TO THE RIGHT HAVING A RADIAL BEARING OF N 39°26'58" W, A CENTRAL ANGLE OF 56°35'47" AND A RADIUS OF 153.08 FT. FOR A DISTANCE OF 151.21 FT. TO A POINT OF COMPOUND CURVATURE; THENCE FOLLOWING A CURVE TO THE RIGHT HAVING A RADIAL BEARING OF N 66°11'27" E, A CENTRAL ANGLE OF 60°01'04" AND A RADIUS OF 164.00 FT. FOR A DISTANCE OF 171.79 FT.; THENCE S 58°38'08" E, 64.27 FT.; THENCE N 61°36'06" E, 52.47 FT.; THENCE N 0°48'35" E, 54.53 FT. TO THE **POINT OF BEGINNING**.

TOGETHER WITH AN EASEMENT 30 FT. IN WIDTH FOR ROAD PURPOSES DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF SAID SUBDIVISION WITH THE WEST MARGIN OF BROADWAY EAST, THENCE S 00°07'00" W, ALONG THE SOUTHERLY EXTENSION OF SAID WEST MARGIN, 152.03 FEET. THENCE N 89°19'33" E, 30.00 FT., THENCE N 00°07'00" E, 152.03 FEET TO SAID NORTH LINE; THENCE S 89°19'33" W, ALONG SAID NORTH LINE. 30.00 FEET TO THE **POINT OF BEGINNING**.

**PARCEL Z**

PARCELS A, B AND C OF CITY OF SEATTLE SHORT SUBDIVISION NO. 8907917, RECORDED UNDER RECORDING NO. 9102281046,

TOGETHER WITH THAT PORTION OF PARCEL B OF CITY OF SEATTLE SHORT PLAT NUMBER 12660351, RECORDED UNDER RECORDING NUMBER 8202180472 AND THAT PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHWEST CORNER OF SAID PARCEL B OF CITY OF SEATTLE SHORT SUBDIVISION NO. 812660351; THENCE S 89°22'37" E, ALONG THE NORTH LINE OF SAID PARCEL FOR A DISTANCE OF 116.88 FT. TO POINT OF NON-TANGENT CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIAL BEARING OF S 53°47'28" E, A CENTRAL ANGLE OF 60°01'04" AND A RADIUS OF 164.00 FT. FOR A DISTANCE OF 171.79 FT. TO A POINT OF COMPOUND CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIAL BEARING OF S 17°08'49" W, A CENTRAL ANGLE OF 56°35'47" AND A RADIUS OF 153.08 FT. FOR A DISTANCE OF 151.21 FT.; THENCE S 01°24'50" W, 52.90 FT.; THENCE S 89°27'55" W, 5.00 FT.; THENCE S 01°24'50" W, 70.00 FT.; THENCE N 89°16'30" W, 265.68 FT. TO A POINT OF NON-TANGENT CURVATURE; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIAL BEARING OF S 71°09'58" W, A CENTRAL ANGLE OF 16°04'48" AND A RADIUS OF 143.01 FT. FOR A DISTANCE OF 40.13 FT. TO A POINT OF COMPOUND CURVATURE; THENCE ALONG A CURVE TO THE RIGHT

HAVING A RADIAL BEARING OF N 64°47'13" W, A CENTRAL ANGLE OF 07°27'29" AND A RADIUS OF 526.88 FT. FOR A DISTANCE OF 220.95 FT.; THENCE N 01°11'08" E, 6.52 FT. TO THE **POINT OF BEGINNING**.



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**SURVEY & LOT BOUNDARY ADJUSTMENT**

19 OCT 2019

TREE SOLUTIONS INC.  
 2940 Westlake Ave N  
 Seattle, WA 98109  
 206.528.4670

Project Arborist:  
**Sean Dugan**  
**RCA #457**  
**ISA PN-5459B**

Notes:



**SITE ADDRESS**

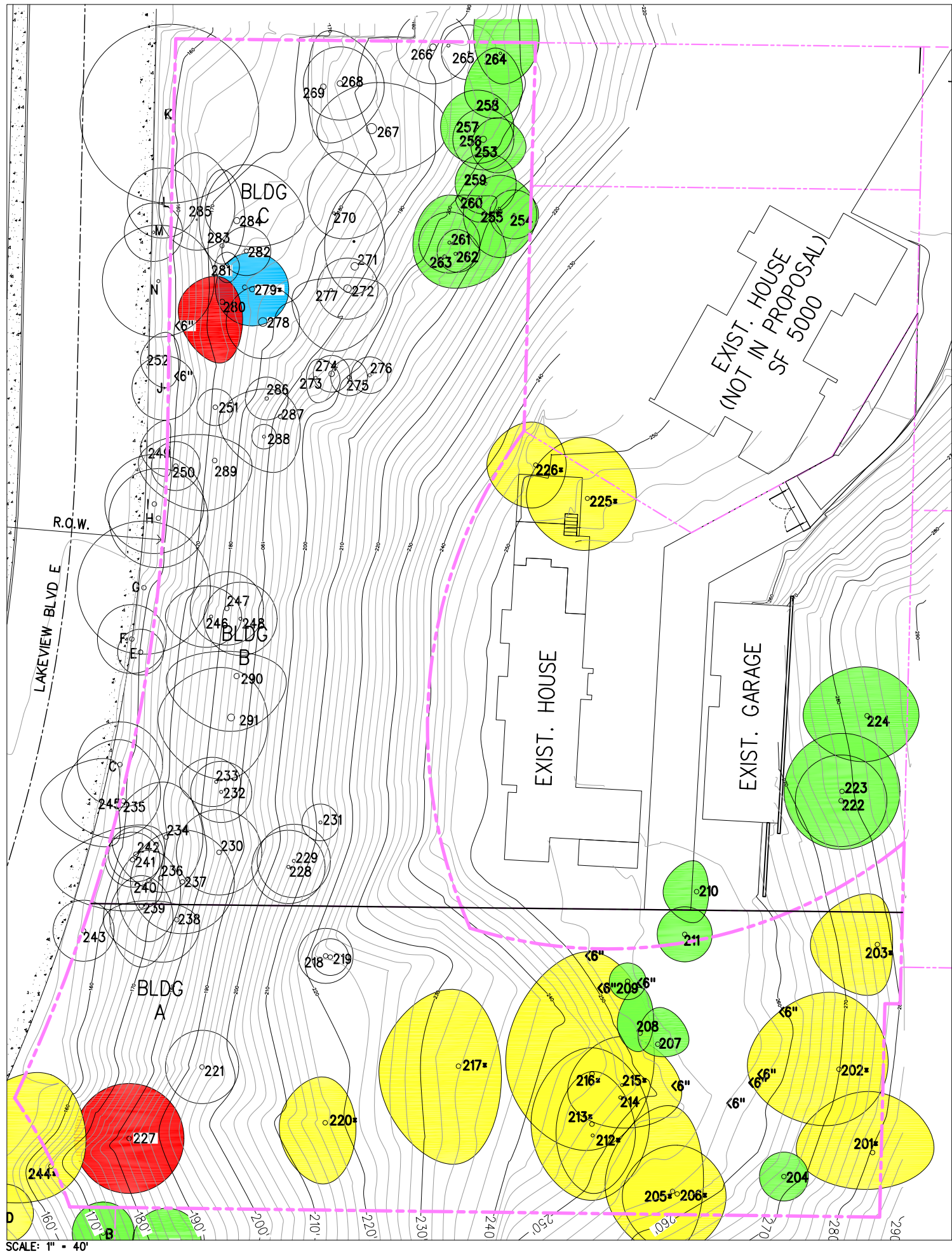
DeFeo  
 1500 Broadway E. /  
 Lakeview Blvd. E.

Project No. TS6271

Date: 12/14/2018

**TREE SURVEY**

**TS-1**



## TREE SYMBOLS

- HAZARD TREES
- EXISTING TREES TO REMAIN
- EXISTING EXCEPTIONAL TREES & GROVE TO REMAIN
- TREES TO BE REMOVED
- EXCEPTIONAL TREE TO BE REMOVED

## ARBORIST REPORT SUMMARY

Tree Solutions, Inc. inventoried and assessed ninety-one (91) trees. Ninety trees exist on-site. Fourteen (14) trees meet the exceptional tree criteria outlined in the Seattle Director's Rule 16-2008. Exceptional trees include 201, 202, 203, 205, 206, 212, 213, 215, 216, 217, 220, 225, 226, and 279. All exceptional trees, other than tree 279, are proposed to be retained. Tree 279 is located within a proposed building envelope and will need to be removed. Tree 244, which was also assessed to be an Exceptional tree, is located on the adjacent property to the south.

Thirty-three (33) trees are proposed for retention and fifty-seven (57) are proposed for removal. Only 19 trees were found to be in good health condition, with a majority being upslope and proposed for retention. Ten (10) trees were found to be in good structural condition. The remaining majority have been previously topped or overrun by ivy (*Hedera* spp.) resulting in poor form.

Most of the trees are in an Environmental Critical Areas (ECA) for steep slopes of greater than 40 percent average, potential slide area, and a known slide area with a known slide event. The development project will help to stabilize the slope. As part of mitigation for canopy loss, new tree species will be planted that will not overburden the slope and that will have good soil holding properties. Several species are suggested in the report.

## ADDITIONAL INFORMATION

The University of Washington is studying why Big Leaf Maples are dying on the coast from California to British Columbia, Canada. Disease and pests have been ruled out and the UW suspect climate change. The project site appears to have dying Big Leaf Maples as indicated by smaller and discolored leaves; according to the arborist, some are dying quickly and some are dying more slowly.

SCALE: 1" = 40'



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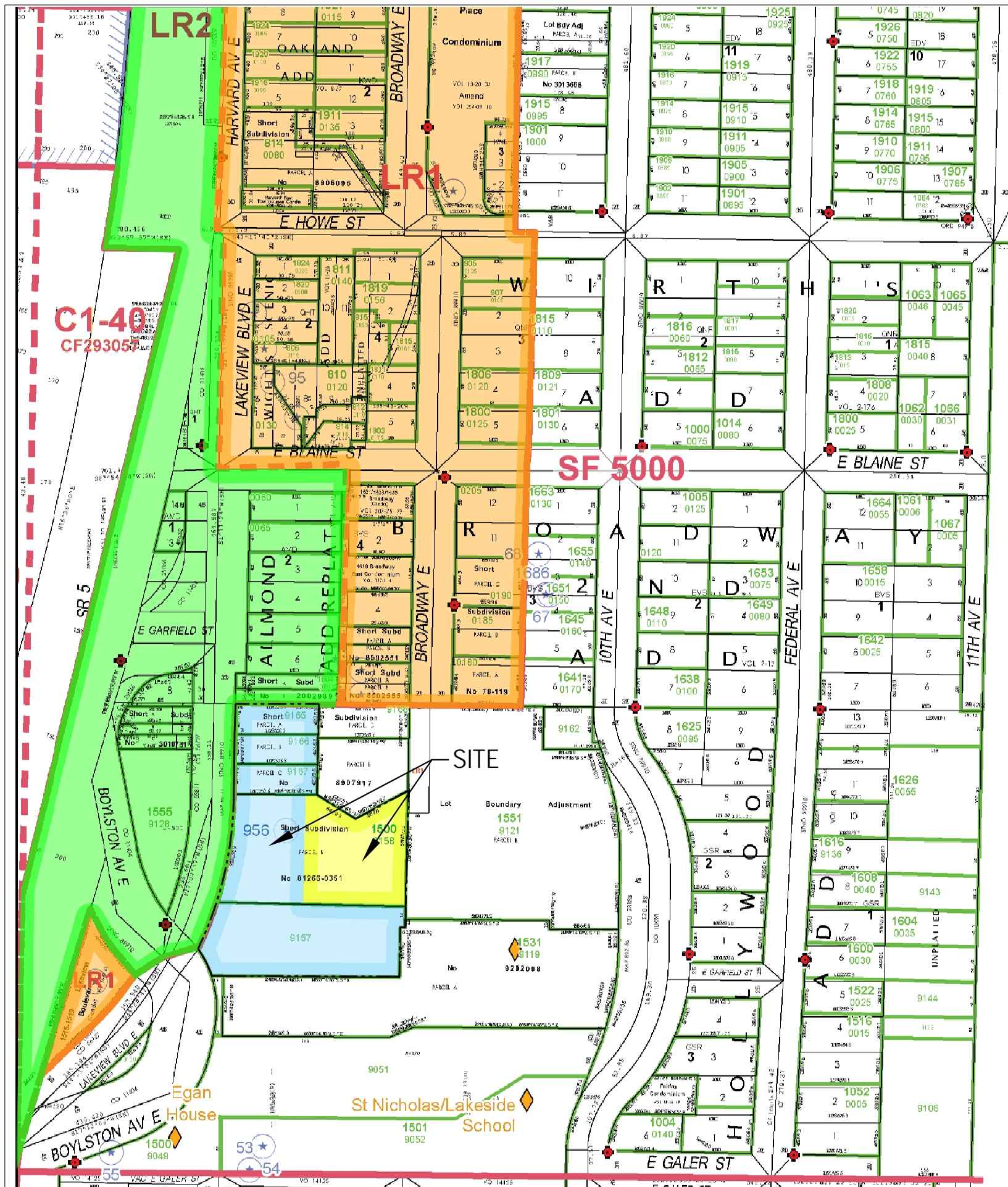
ARBORIST REPORT  
SUMMARY & SITE PLAN

19 OCT 2019

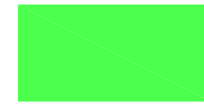
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Tree ID	Scientific Name	Common Name	DSH (inches)	Health Condition	Structural Condition	North	East	South	West	Exceptional Threshold	Exceptional (y/n)	Grove	Proposed Action*	Notes
201	<i>Acer macrophyllum</i>	Bigleaf maple	38	fair	fair	20	20	12	35	30	yes	yes	Retain	Previously topped for views, ivy up trunk 40 feet.
202	<i>Acer macrophyllum</i>	Bigleaf maple	40.6	fair	fair	25	16	18	30	30	yes	yes	Retain	Codominant at base, hollow between trunks, previously topped, ivy up trunk 40 feet.
203	<i>Acer macrophyllum</i>	Bigleaf maple	15.6	good	fair	16	5	16	22	30	no	yes	Retain	Suppressed, covered in clematis.
204	<i>Acer macrophyllum</i>	Bigleaf maple	11.3	poor	fair	8	8	8	8	30	no	no	Retain	Heavy ivy cover, almost dead.
205	<i>Acer macrophyllum</i>	Bigleaf maple	28.5	fair	fair	28	10	20	22	30	no	yes	Retain	Previously topped for views, ivy up trunk 40 feet.
206	<i>Acer macrophyllum</i>	Bigleaf maple	34	fair	fair	16	16	19	18	30	yes	yes	Retain	Previously topped for views, ivy up trunk 40 feet.
207	<i>Betula papyrifera</i>	Paper birch	6.4	good	good	12	10	4	6	20	no	no	Retain	
208	<i>Betula papyrifera</i>	Paper birch	6.1	good	good	15	4	6	7	20	no	no	Retain	
209	<i>Pinus nigra</i>	Austrian black pine	6.9	good	fair	6	6	6	6	24	no	no	Retain	Girdling wires.
210	<i>Acer circinatum</i>	Vine maple	7	good	fair	10	4	10	11	8	no	no	Retain	
211	<i>Acer ginnala</i>	Amur maple	5.6	good	good	9	9	9	9	16	no	no	Retain	
212	<i>Acer macrophyllum</i>	Bigleaf maple	12.3	good	fair	21	14	19	12	30	no	yes	Retain	Trunk covered in ivy 40 feet.
213	<i>Acer macrophyllum</i>	Bigleaf maple	28.5	good	good	25	20	25	20	30	no	yes	Retain	Trunk covered in ivy 60 feet.
214	<i>Acer macrophyllum</i>	Bigleaf maple	9.7	good	fair	20	20	10	17	30	no	no	Retain	
215	<i>Cornus nuttallii</i>	Pacific dogwood	10	good	good	30	10	3	6	6	yes	no	Retain	
216	<i>Acer macrophyllum</i>	Bigleaf maple	46	fair	fair	40	20	25	38	30	yes	yes	Retain	Heavy ivy cover, dead lower crown due to ivy, limited visual access to trunk.
217	<i>Acer macrophyllum</i>	Bigleaf maple	51	fair	fair	25	14	32	26	30	yes	yes	Retain	Heavy ivy cover, dead lower crown due to ivy, limited visual access to trunk, size approximate due to ivy vines in way
218	<i>Acer macrophyllum</i>	Bigleaf maple	11.5	poor	poor	9	9	9	9	30	no	no	Remove	Significantly topped, low live crown ratio, up slope of proposed new building
219	<i>Acer macrophyllum</i>	Bigleaf maple	12.7	poor	poor	6	6	6	6	30	no	no	Remove	Significantly topped, low live crown ratio, up slope of proposed new building
220	<i>Acer macrophyllum</i>	Bigleaf maple	13.8	fair	fair	15	10	20	15	30	no	yes	Retain	Heavy ivy cover, dead lower crown due to ivy.
221	<i>Acer macrophyllum</i>	Bigleaf maple	14.6	fair	poor	12	12	12	12	30	no	no	Remove	Previously topped for views, ivy up trunk 40 feet, up slope of proposed building
222	<i>Acer macrophyllum</i>	Bigleaf maple	10.6	good	fair	15	15	15	15	30	no	no	Retain	
223	<i>Acer macrophyllum</i>	Bigleaf maple	14	good	fair	19	19	19	19	30	no	no	Retain	Previously topped for views.
224	<i>Acer macrophyllum</i>	Bigleaf maple	24.5	good	good	16	17	15	21	30	no	no	Retain	
225	<i>Magnolia grandiflora</i>	Southern magnolia	16	good	good	20	16	17	20	16	yes	no	Retain	
226	<i>Acer ginnala</i>	Amur maple	18.1	good	good	14	10	14	16	16	yes	no	Retain	
227	<i>Acer macrophyllum</i>	Bigleaf maple	24.2	poor	poor	18	18	18	18	30	no	no	Remove	Heavy ivy up trunk 40 feet, failed at roots, leans to west, hazard tree, remove asap, orange flagging tape.
228	<i>Acer macrophyllum</i>	Bigleaf maple	15.9	fair	fair	12	12	12	12	30	no	no	Remove	Heavy ivy up trunk 30 feet, codominant.
229	<i>Acer macrophyllum</i>	Bigleaf maple	11	fair	fair	12	12	12	12	30	no	no	Remove	Swept base, lean to north.
230	<i>Acer macrophyllum</i>	Bigleaf maple	15.9	fair	fair	14	14	14	14	30	no	no	Remove	Previously topped for views, ivy up trunk 30 feet.
231	<i>Prunus emarginata var. mollis</i>	Bitter cherry	14.8	poor	poor	6	6	6	6	Not Exceptional except in grove	no	no	Remove	Previously topped for views, ivy up trunk 25 feet.
232	<i>Acer macrophyllum</i>	Bigleaf maple	9.4	fair	fair	10	10	10	10	30	no	no	Remove	Previously topped for views, ivy up trunk 25 feet.
233	<i>Robinia pseudoacacia</i>	Black locust	12.5	fair	fair	8	8	8	12	30	no	no	Remove	Trunk leans to west, previously topped for views, ivy up trunk 25 feet.
234	<i>Populus balsamifera / trichocarpa</i>	Black cottonwood	24	good	fair	18	12	18	18	Not Exceptional except in grove	no	no	Remove	Heavy ivy up trunk 40 feet.
235	<i>Populus balsamifera / trichocarpa</i>	Black cottonwood	20	good	good	20	12	12	20	Not Exceptional except in grove	no		Remove	Heavy ivy up 60 feet.
236	<i>Robinia pseudoacacia</i>	Black locust	18.4	fair	fair	15	0	6	35	30	no	no	Remove	Trunk leans west, heavy ivy cover.
237	<i>Robinia pseudoacacia</i>	Black locust	19.7	fair	fair	17	17	17	17	30	no	no	Remove	Heavy ivy up trunk 60 feet.
238	<i>Robinia pseudoacacia</i>	Black locust	10	fair	fair	5	7	13	24	30	no	no	Remove	Heavy ivy up trunk 30 feet, codominant.
239	<i>Robinia pseudoacacia</i>	Black locust	10	fair	fair	10	10	20	10	30	no	no	Remove	Heavy ivy up trunk 40 feet, lean south.
240	<i>Robinia pseudoacacia</i>	Black locust	12	fair	fair	10	10	20	10	30	no	no	Remove	Heavy ivy up trunk 40 feet, lean south.
241	<i>Robinia pseudoacacia</i>	Black locust	7.7	fair	fair	9	9	9	9	30	no	no	Remove	
242	<i>Robinia pseudoacacia</i>	Black locust	6.4	fair	fair	9	9	9	9	30	no	no	Remove	
243	<i>Robinia pseudoacacia</i>	Black locust	14.3	fair	poor	10	10	10	10	30	no	no	Remove	Topped for power line.
245	<i>Acer platanoides</i>	Norway maple	11.5	fair	fair	12	0	14	25	30	no	no	Remove	Up for powerline shares base with 235.
246	<i>Acer macrophyllum</i>	Bigleaf maple	13	fair	fair	10	10	10	15	30	no	no	Remove	Previously topped for views, heavy ivy up 70 feet.
247	<i>Acer macrophyllum</i>	Bigleaf maple	15	poor	poor	12	12	12	12	30	no	no	Remove	Previously topped for views, heavy ivy up 20 feet, fruiting bodies up trunk.
248	<i>Robinia pseudoacacia</i>	Black locust	14.7	fair	poor	12	12	12	12	30	no	no	Remove	Previously topped for views, heavy ivy up 20 feet, top of lead is splitting.
249	<i>Robinia pseudoacacia</i>	Black locust	7.8	fair	poor	9	0	9	9	30	no	no	Remove	Topped for power line.
250	<i>Robinia pseudoacacia</i>	Black locust	7.3	fair	fair	8	8	8	8	30	no	no	Remove	Topped for power line.
251	<i>Acer macrophyllum</i>	Bigleaf maple	11.5	fair	poor	6	6	6	6	30	no	no	Remove	low live crown ratio, heavy ivy up trunk 60 feet.
252	<i>Robinia pseudoacacia</i>	Black locust	9.5	fair	fair	9	4	9	9	30	no	no	Remove	Topped for power line.
253	<i>Acer macrophyllum</i>	Bigleaf maple	14	fair	fair	10	10	8	8	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
254	<i>Acer macrophyllum</i>	Bigleaf maple	14.4	fair	fair	8	8	8	8	30	no	no	Retain	
255	<i>Acer macrophyllum</i>	Bigleaf maple	19	fair	fair	12	12	15	12	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
256	<i>Acer macrophyllum</i>	Bigleaf maple	16.1	fair	fair	10	10	10	10	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
257	<i>Acer macrophyllum</i>	Bigleaf maple	11.5	fair	fair	12	12	12	12	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.

Tree ID	Scientific Name	Common Name	DSH (inches)	Health Condition	Structural Condition	North	East	South	West	Exceptional Threshold	Exceptional (y/n)	Grove	Proposed Action*	Notes
258	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	17.5	fair	fair	17	8	6	10	30	no	no	Retain	Ivy up trunk 40 feet, previously topped
259	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	10.8	fair	fair	10	10	10	10	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
260	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	9	fair	fair	0	5	8	8	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
261	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	20.2	fair	fair	10	10	10	10	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, will be negatively impacted by disturbance, up slope of proposed building
262	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	18.5	fair	poor	8	8	6	6	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, will be negatively impacted by disturbance, up slope of proposed building
263	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	23.1	fair	fair	20	20	10	10	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, will be negatively impacted by disturbance, up slope of proposed building
264	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	18.2	fair	fair	25	12	10	8	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
265	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	14.4	fair	poor	9	9	9	9	30	no	no	Retain	Ivy up trunk 40 feet, previously topped.
266	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	26	fair	fair	12	12	12	12	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, will be negatively impacted by disturbance, up slope of proposed building
267	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	26.6	good	fair	15	25	15	18	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
268	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	17.9	fair	fair	12	12	12	13	30	no	no	Remove	Previously topped.
269	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	28.8	fair	fair	18	20	18	5	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
270	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	13.7	fair	poor	20	17	8	8	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
271	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	22.2	poor	fair	25	9	9	9	30	no	no	Remove	kretschmaria, ivy up trunk 40 feet, previously topped.
272	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	26.2	fair	fair	10	10	10	10	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
273	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	11	poor	poor	6	8	8	3	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
274	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	21.6	poor	poor	6	6	6	6	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, small resprout.
275	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	15	poor	poor	6	6	6	6	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, small resprout.
276	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	8.5	poor	poor	6	6	6	6	30	no	no	Remove	Ivy up trunk 20 feet, previously topped.
277	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	9.3	good	good	4	18	20	12	30	no	no	Remove	Asymmetric canopy.
278	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	24	fair	fair	12	12	12	12	30	no	no	Remove	One dead trunk, ivy up trunk 40 feet, previously topped, small resprout.
279	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	32.5	fair	fair	12	12	12	12	30	yes	no	Remove	Ivy up trunk 40 feet, previously topped. Located in proposed building envelope
280	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	23.5	fair	poor	8	6	20	14	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, damaged trunk near top, risk tree.
281	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	12	poor	poor	4	4	6	4	30	no	no	Remove	Ivy up trunk 20 feet, previously topped.
282	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	17.1	poor	poor	8	8	8	8	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
283	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	18.5	poor	poor	25	6	6	6	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
284	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	25.5	fair	fair	18	22	8	10	30	no	no	Remove	Ivy up trunk 40 feet.
285	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	14.4	fair	poor	22	12	10	12	30	no	no	Remove	Ivy up trunk 20 feet, previously topped.
286	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	14	poor	poor	7	7	7	7	30	no	no	Remove	Ivy up trunk 60 feet, previously topped.
287	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	16	fair	fair	8	6	18	20	30	no	no	Remove	Ivy up trunk 60 feet, previously topped.
288	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	10	poor	poor	4	4	4	4	30	no	no	Remove	Ivy up trunk 40 feet, previously topped, small resprout.
289	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	18.5	poor	poor	8	12	16	25	30	no	no	Remove	Ivy up trunk 40 feet, previously topped.
290	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	21	poor	poor	8	16	18	23	30	no	no	Remove	Ivy up trunk 60 feet, previously topped.
291	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	27.2	fair	fair	16	12	20	24	30	no	no	Remove	Ivy up trunk 60 feet, previously topped.
<b>Adjacent Site Trees</b>														
244	<i>Acer macrophyllum</i>	<i>Bigleaf maple</i>	32.6	fair	fair	30	10	10	35	30	yes	no	Retain	Previously topped, tall stumps with 30 feet sprouts, heavy ivy up 40 feet. Cut back approximately six feet and prune to manage sprouts. Prune according to ANSI standards
A	<i>Acer macrophyllum</i>	<i>bigleaf maple</i>	15	Fair	Fair	18	18	18	18	30	no	no	Retain	Ivy up trunk 50 feet
B	<i>Acer macrophyllum</i>	<i>bigleaf maple</i>		Poor	Poor	6	6	6	6	30	no	no	Retain	20 foot tall snag with few sprouts
C	<i>Robinia pseudoacacia</i>	<i>locust</i>		Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
D	<i>Acer macrophyllum</i>	<i>bigleaf maple</i>	20	Good	Good	30			30	30	no	no	Retain	Low scaffold to the northwest
E	<i>Robinia pseudoacacia</i>	<i>locust</i>	7	Fair	Fair						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
F	<i>Robinia pseudoacacia</i>	<i>locust</i>	8	Fair	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
G	<i>Robinia pseudoacacia</i>	<i>locust</i>	8	Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
H	<i>Robinia pseudoacacia</i>	<i>locust</i>	6	Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
I	<i>Robinia pseudoacacia</i>	<i>locust</i>	6	Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
J	<i>Robinia pseudoacacia</i>	<i>locust</i>	6	Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
K	<i>Acer macrophyllum</i>	<i>bigleaf maple</i>	25,23,6	Fair	Fair						No- ROW	no	Remove	Lower scaffold hit by vehicles, ROW tree, topped for power lines; Remove for frontage improvements
L	<i>Robinia pseudoacacia</i>	<i>locust</i>		Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
M	<i>Robinia pseudoacacia</i>	<i>locust</i>		Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
N	<i>Robinia pseudoacacia</i>	<i>locust</i>		Poor	Poor						No- ROW	no	Remove	ROW tree, topped for power lines; remove for frontage improvements
Additional notes:														
DSH (Diameter at Standard Height) is measured 4.5 feet above grade.														
Multi-stem trees are noted, and a single stem equivalent is calculated using the method defined in the Director's Rule 16-2008.														
Drip line is measured from the center of the tree to the outermost extent of the canopy														
* All trees proposed for removal will be negatively impacted by site disturbance or present a risk to surrounding targets.														



EXISTING LR-1 ZONE



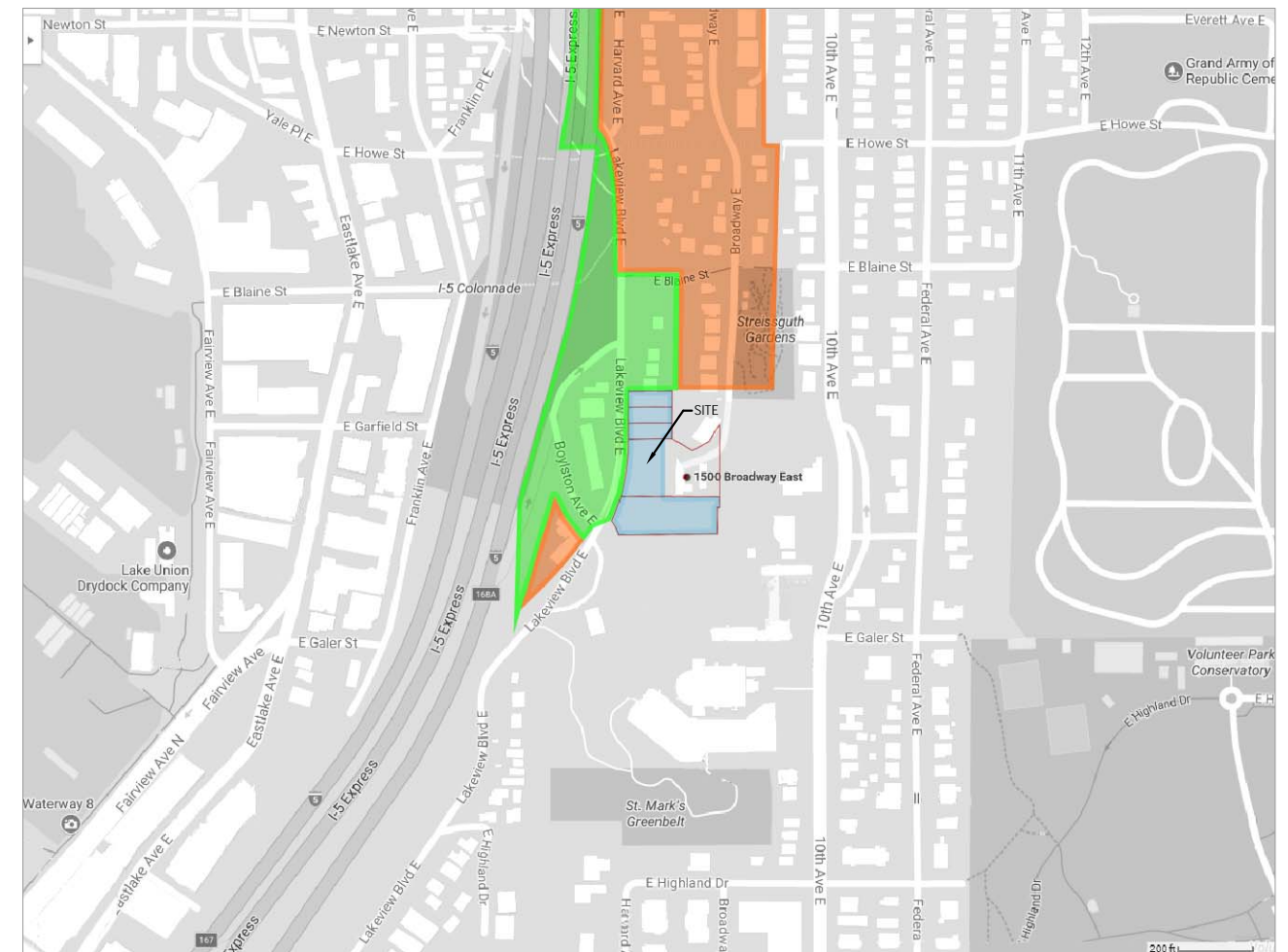
EXISTING LR-2 ZONE



PROPOSED SITE RE-ZONE FROM SF 5000 TO LR-2



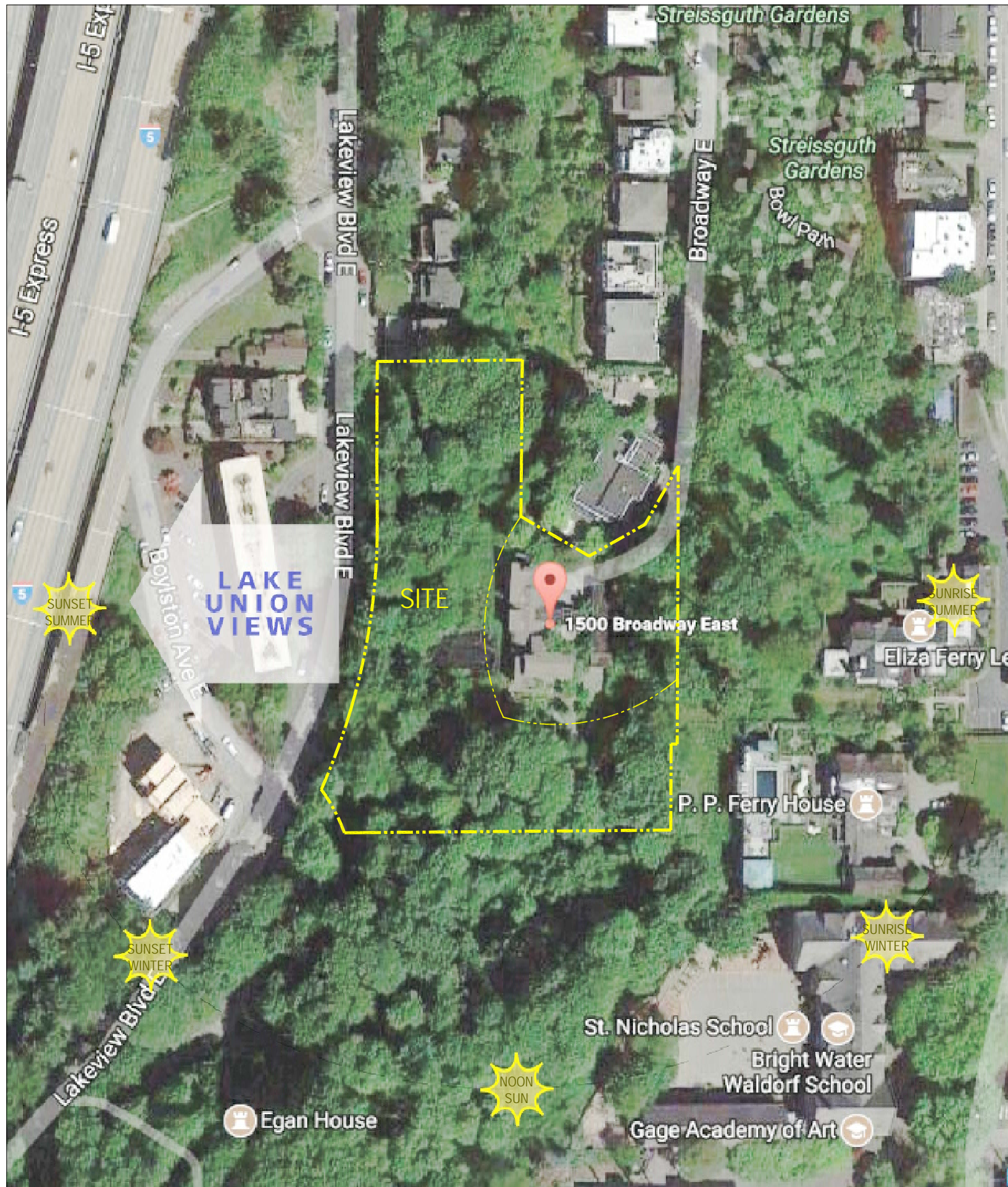
PROPOSED PORTION OF OVERALL SITE TO REMAIN SF 5000



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LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

ZONING MAP  
19 OCT 2019  
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## LAKEVIEW BLVD. EAST R.O.W. FEATURES

### Existing R.O.W. Features

- Curbs and sidewalks existing on west and east sides of Lakeview Blvd. East.
- Existing sidewalk has gentle slope and allows for easy ADA access to site.
- R.O.W. is classified as a "minor arterial".
- There are no existing curb cuts to site
- Existing LR-2 zoned properties are immediately to the north and west of proposed site.
- There is no existing alley to serve the site and the existing steep slope negates the possibility of having one.
- SDOT has confirmed the R.O.W. meets existing standards for R.O.W. and roadway width, except SDOT requires curb-side planting strip and replacing the existing sidewalk with new sidewalk between planting strip and site's property line.
- Combined sewer/storm existing in R.O.W.
- Overhead power lines exist on the east side of the R.O.W.
- Water supply for fire hydrants exist on west side of Lakeview Blvd E.
- Bike lanes delineated in R.O.W.
- R.O.W. immediately north of project have retaining walls on both sides of street at different properties.

### New R.O.W. Features

- Water line to be extended from Boylston Ave E across Lakeview Blvd E to proposed project.
- Fire hydrant(s) to be installed on east side of Lakeview Blvd E serving proposed project.
- SDOT requires new curb planting, street trees and sidewalk.
- Overhead power lines are proposed to be placed underground at projects street frontage.



Lakeview Blvd. East Looking North

Existing retaining walls on both side of street

Bike lane



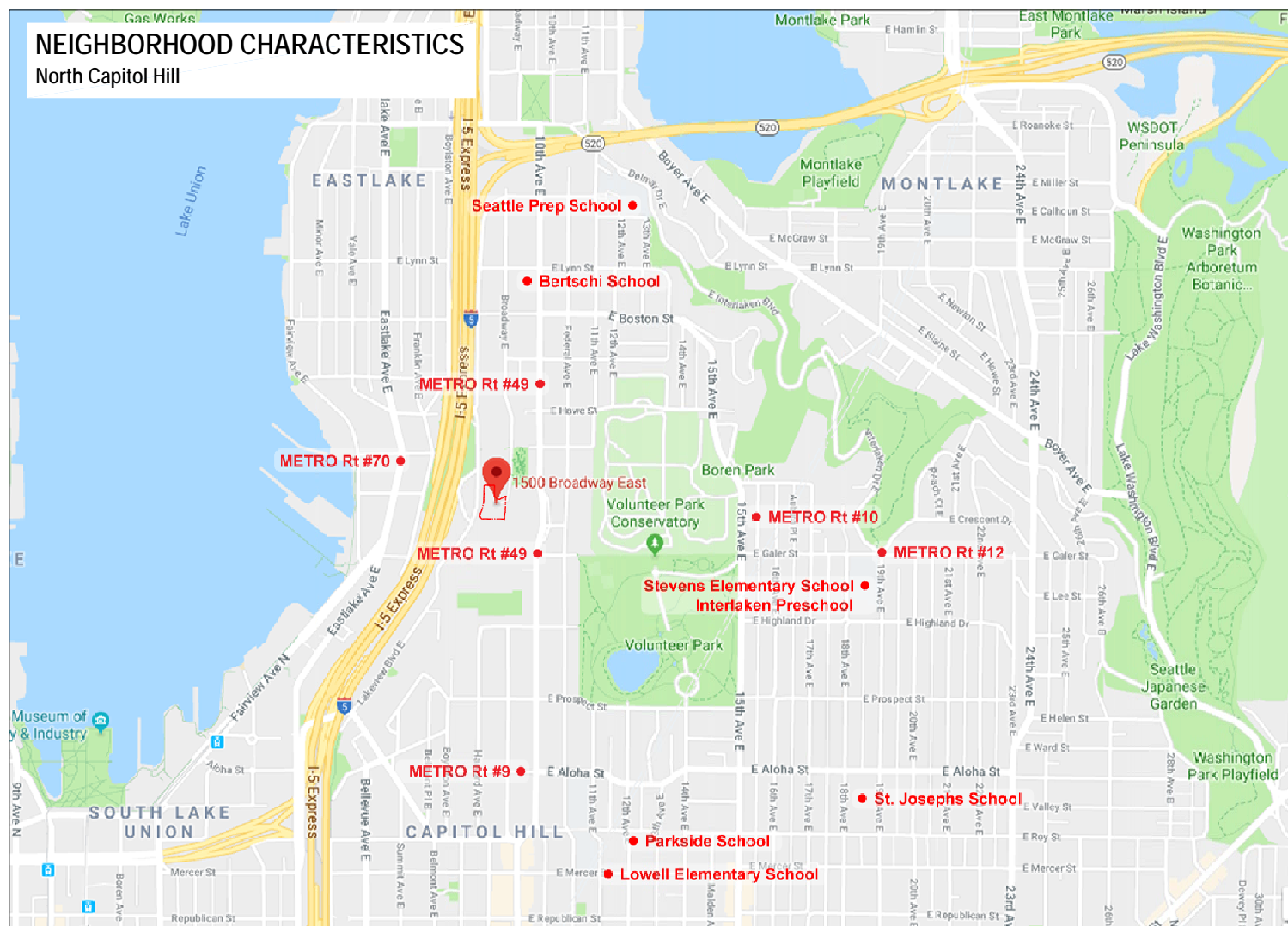
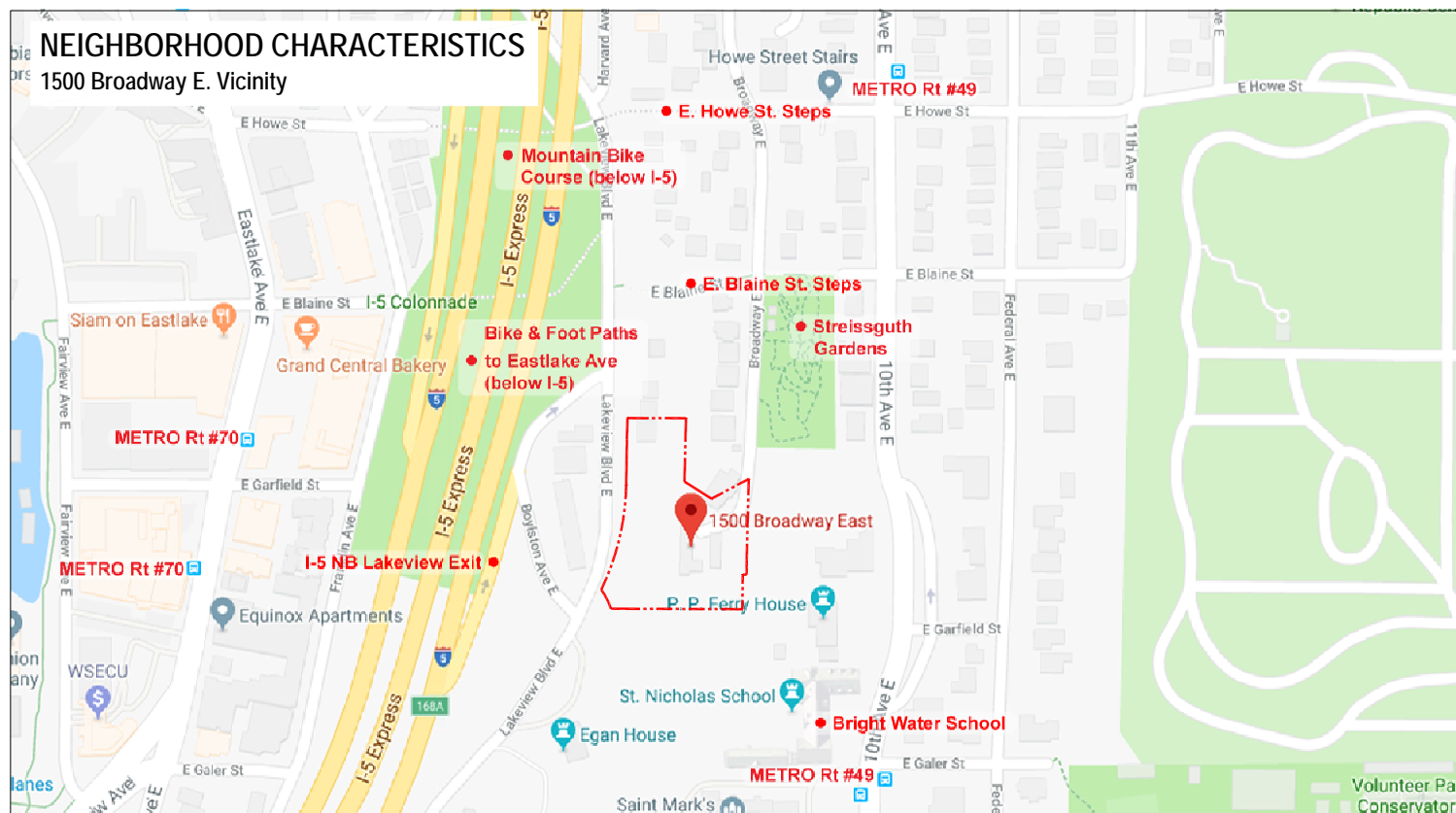
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LAKEVIEW BLVD E. ROW  
FEATURES

19 OCT 2019

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## NEIGHBORHOOD CHARACTERISTICS

### Public and Private School Choices:

- Lowell Elementary
- St. Joseph School
- Bertschi School
- Seattle Preparatory School
- Brightwater School
- Stevens Elementary School
- Interlaken Pre-school
- Parkside School

### Local Amenities:

- One Block from I-5 Mountain Bike Course
- One Block from Blaine and Howe Street steps
- Two Blocks from Streissguth Gardens
- Short walk to Volunteer Park
- 10 minute drive to Washington Park and Arboretum walking/biking trails
- Public access to Lake Union

### Transportation:

- Property is less than one city block from Lakeview Blvd. exit Northbound from I-5
- Residents have an easy 2 mile commute by bicycle or bus to downtown Seattle and South Lake Union
- Several bus routes nearby to downtown Seattle and University District:
  - Route #49 on 10th Avenue East
  - Route #70 on Eastlake Avenue East
  - Route #10 on 15th Avenue East, Volunteer Park to downtown
  - Route #12 on 19th Avenue East, Interlaken Park to First Hill and downtown
  - Route #9 on E Aloha Street to First Hill, Columbia City and Rainier Beach
  - Routes 9, 10, & 49 connect to light rail's Capitol Hill Station, to SeaTac airport
  - Existing bike lanes on Lakeview Blvd.

### BUILDING PERMIT AND LAND USE ACTIVITY

Data compiled from properties within a 1/4 mile radius of the proposed site and collected from Jan. 2013 to Aug. 13, 2018

**Total Number of Sites Within 1/4 Mile: 269**

#### Permit Activity

# of sites with no building and land use permit activity: 187

# of sites with building and land use permit activity: 82

#### Summary of the building permit activity

# of new single family permits: (total of 7 new homes) 3

# of remodel/addition/repair of single family structures: 30

# of new multi-family structures (Total of 127 dwelling units): 11

# of remodel/addition/repair of multi-family structures: 8

Total number of new structures for other uses: 0

Total number of remodel/add structures for other uses: 13

**Total number of building permits: 65**

#### Summary of the land use permit activity

# of single family applications: (one site is an LBA) 2

# of multi-family applications: 13

# of applications for other uses: 2

**Total number of land use applications: 17**

### SUMMARY BUILDING PERMIT AND LAND USE ACTIVITY

Building permit activity indicates 7 new single family homes and a total of 127 new multi family dwelling units. Land use activity indicates 2 single family applications and 13 multi-family applications.



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<h1>LAKEVIEW</h1> <p>1500 BROADWAY EAST SEATTLE, WA 98102</p>	NEIGHBORHOOD CHARACTERISTICS
	19 OCT 2019
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St. Joseph's School



Bright Water School



St. Marks Cathedral



Bertschi School



Seattle Prep



Volunteer Park Conservatory



Stevens Elementary School & Interlaken Preschool



Parkside Elementary School



Lowell Elementary School



E Blaine Stair Climb



Streissguth Gardens

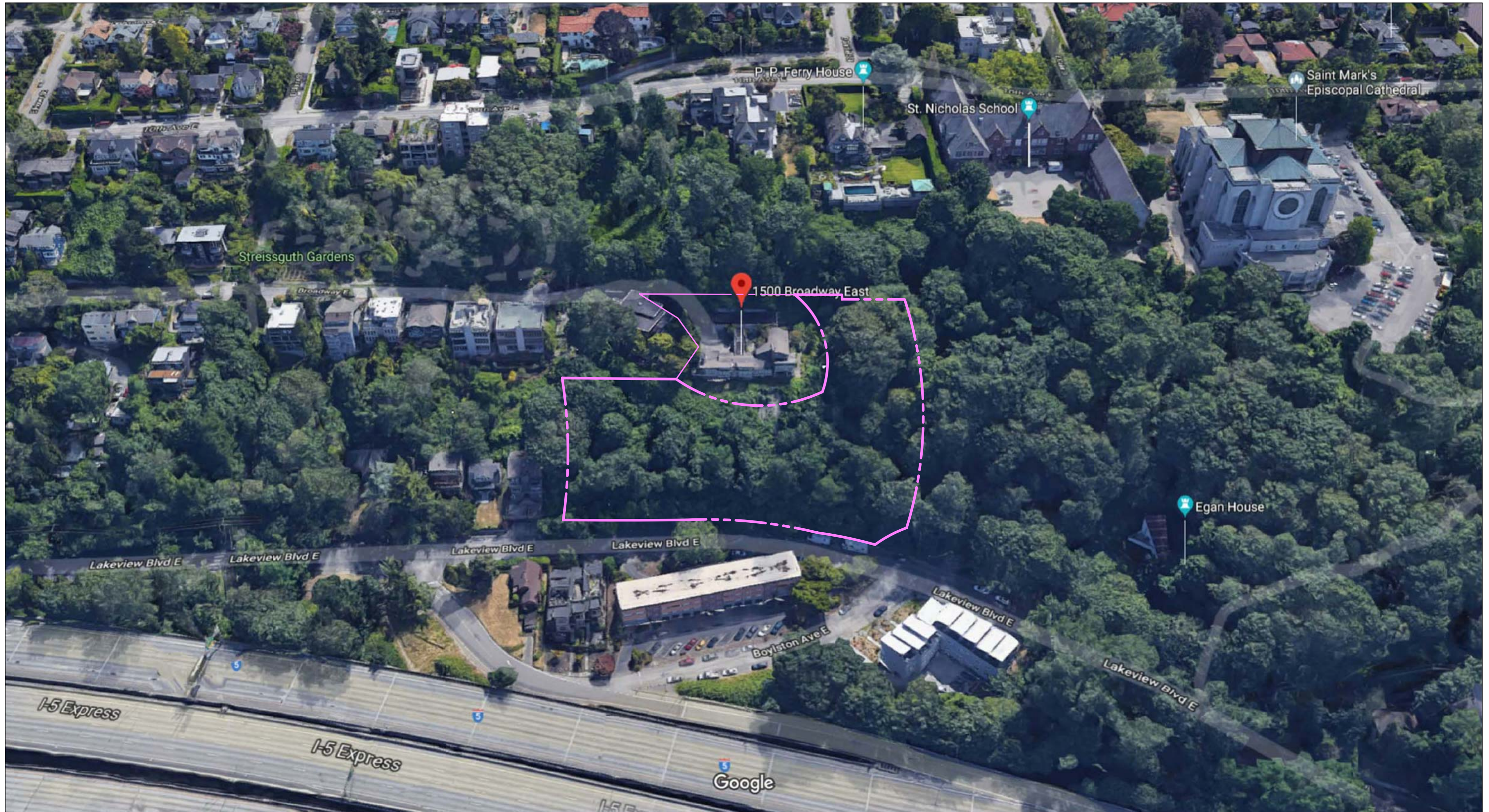


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NEIGHBORHOOD  
CHARACTERISTICS -  
PHOTOS

19 OCT 2019



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LAKEVIEW  
1500 BROADWAY EAST  
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AERIAL CONTEXT  
19 OCT 2019  
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PANORAMIC VIEW EAST SIDE OF LAKEVIEW BLVD E.



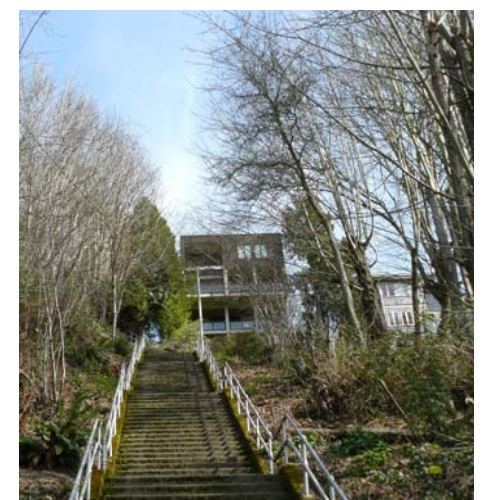
PANORAMIC VIEW WEST SIDE OF LAKEVIEW BLVD E.



NORTH OF PROPERTY - LOOKING EAST



E. BLAINE STAIRCLIMB



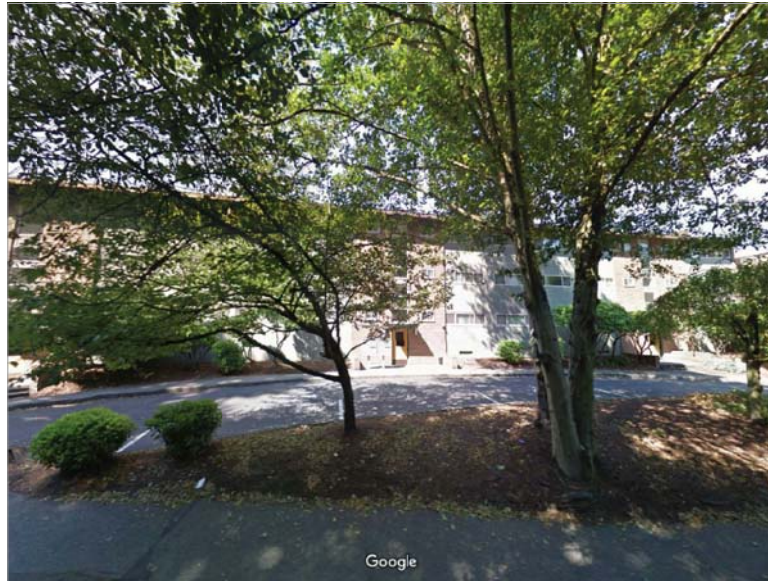
E. BLAINE STAIRCLIMB - LOOKING EAST UPHILL



*Building West Side of Lakeview Blvd E.*



*Building West Side of Lakeview Blvd E.*



*Building Immediately West of Site*



*Building Immediately West of Site on Boylston*



*Looking Southeast on Lakeview Blvd E.*



*Looking North on Lakeview*

***EXISTING NEIGHBORHOOD DESIGN CUES***

- The existing structures in the immediate neighborhood of the proposed project consist of a mix of single family homes and multi family structures.
- The setbacks from street, height, width, and depth of the structures vary and exterior materials and colors also vary.
- Parking (structured and surface) vary with the most common configuration having driveway access to parking at the lowest contour on the east side of Boylston Ave East and east side of Lakeview Blvd East.
- The existing single-family and multi-family structures north of the proposed site and on the east side of Lakeview have driveway and garage locations that necessitate backing onto Lakeview.
- Pedestrian access from Lakeview has varied configurations consisting of at-grade access from Lakeview, stair, and/or driveway access.
- Numerous retaining walls exist on both sides of Lakeview north of the proposed project. The retaining walls appear to be within the street right of way immediately adjacent to the sidewalk.

**Cues Incorporated Into Design**

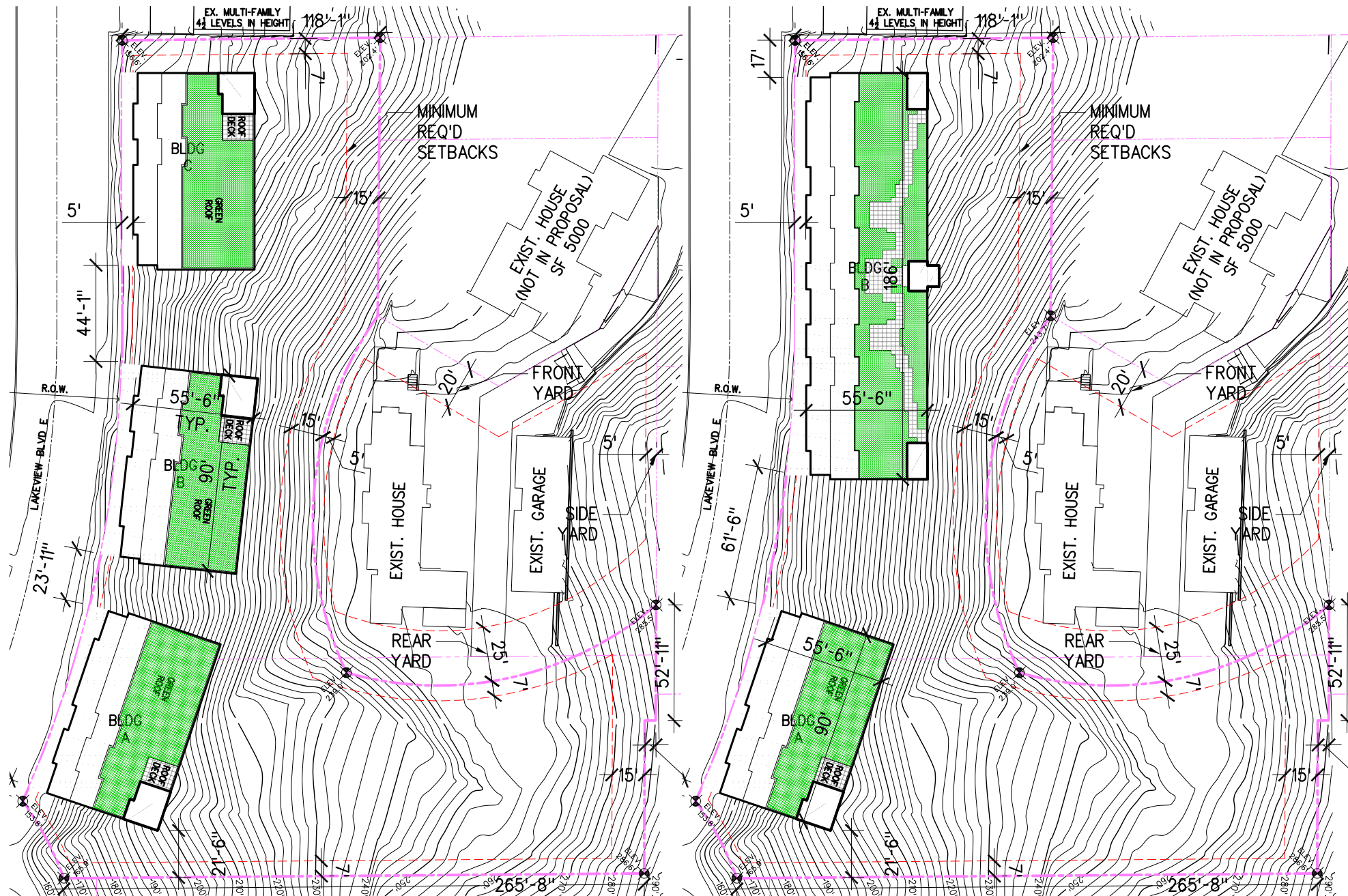
- Buildings shown to left are cues that influence the design for heights and street widths.
- Retaining walls at street right-of-way.

## ZONING CODE INFORMATION

The proposed project requires a Contract Rezone. The Contract Rezone requirements are as follows:

- Rezone Single Family 5000 (SF 5000) to Low Rise 2 (LR-2).
- Mandatory Housing Affordability (MHA).
- Environmental Critical Areas (ECA) Variance.
- Lot Line Adjustment (LBA).
- Master Use Permit (MUP).
- City Council Action.

### 23.45.517 Multifamily Zones with Mandatory Housing Requirements. FAR 1.4



Alternates #1 & #2

Alternate #3



### 23.45.518 Setbacks and Separations

Table A - Setbacks in LR Zones

Front: Apartments, 5 feet minimum  
 Rear: Apartments, 15' with no alley  
 Side: Apartments greater than 40' in length, 7 feet average, 5 feet minimum

#### F. Separations between multiple structures

1. Minimum of 10 feet

#### J. Structures in required setbacks or separations.

4. Underground structures are permitted in any required setback or separation.

#### 8. Bulkheads and retaining walls.

b. Bulkheads and retaining walls used to protect a cut into existing grade may not exceed the minimum height necessary to support the cut or 6 feet measured from finished grade on the low side. If the bulkhead is measured on the low side and exceeds 6 feet, an open guard rail of no more than 42 inches may be placed on top.

#### 10. Above-grade green stormwater infrastructure GSI features are allowed without setback or separation restrictions if:

a. Each above-grade GSI is less than 4.5 feet tall, excluding piping.

b. Each above-grade GSI is less than 4 feet wide.

#### 11. Above-grade GSI features larger than what is allowed in subsection 23.45.518.10 are allowed within a required setback or separation if:

a. Above-grade GSI do not exceed 10% coverage of any one setback or separation area.

c. No portion of an above-grade GSI feature projects more than 5 feet into a front or rear setback.

#### L. In LR zones a minimum upper setback from all street lot lines is required in addition to any required ground level setback, as follows:

2. For structures with a 40 foot height limit, the upper level setback requirement is 16 feet above a height or 44 feet.

### 23.45.524 Landscape Standards

Landscaping requires a Green Factor score of 0.6 or greater.

#### B. Street tree requirements:

1. Street trees are required.

### 23.45.527 Structure Width and Facade Length Limits in LR Zones

A. LR-2 is 90 feet

B. Maximum facade length in LR zones

1. Maximum combined length of all portions of facades within 15 feet of a side lot line shall not exceed 65 percent of the length of that lot line.

### 23.45.536 Parking Location, Access and Screening

#### 23.54.015 Required Parking for Residential Use

Table B.1: 1 space per dwelling unit

Table D - Parking for Bicycles

Long-Term: One per dwelling unit

Short-Term: One per 20 dwelling units

### 23.58D.002 - Green Building Standard

A. When a commitment to meet green building standards is required to qualify for additional height or extra floor area in the applicable zone, the owner shall make a commitment that the proposed development will meet the green building standard, or a substantially equivalent or superior standard, and shall demonstrate compliance with that commitment in accordance with the provisions of Section 23.58D.004.

NOTE: The proposed project does not need "additional height or extra floor area" in the LR-2 MHA Zone. The proposed buildings are under the height limit and the FAR limit of 1.4 x lot area allowed square footage for building area, therefore the Green Building standard is not required.



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ZONING CODE  
 INFORMATION

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*Green Wall Adjacent to Sidewalk*



*Boston Ivy Growing on Concrete Vine Trellis Set Off From Wall With Decorative Metal Trellis*



*Layered Vegetation*



*Retaining Wall Between Buildings and Propertyline at Varying Heights Adjacent to Sidewalk*



*Retaining Wall Planter and GSI Between Buildings at Varying Heights Adjacent to Sidewalk*



*Adjacent Properties North of Project Showing Existing Retaining Walls at Sidewalk*



*Existing Building Adjacent to Proposed Site*

**PUBLIC LIFE**

**PL1 Connectivity**

**A. Network of open spaces**

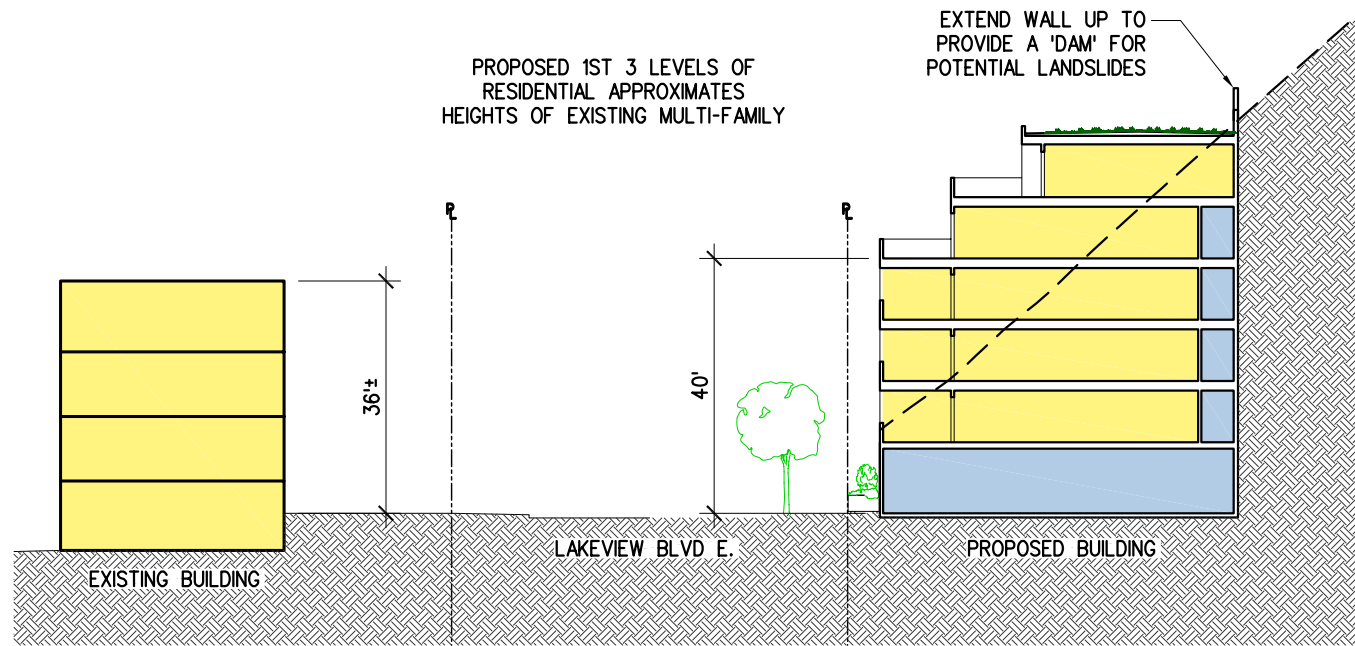
1. **Enhancing open space:** Approximately 27% of lot area is proposed for the building footprints with approximately 73% of the remaining site in landscaped open space. The proposed open space will maintain and contribute to the broader network of open spaces throughout the neighborhood. Landscape restoration and maintenance procedures will be provided to mitigate landslide potential and health of the vegetation.

**PL2 Walkability:**

**A. Access for all:** Main entries are accessible designed.

**B. Safety and security**

1. **Eyes on the street:** The first three residential levels have views to street from living areas and balconies.



Section Through Lakeview Blvd E.

Restoration and maintenance of on-site vegetation.

Typical vegetation between buildings on Lakeview Blvd E buildings up-hill off Broadway.



Aerial - Sites Adjacent to Proposed Project



Street Facade

PL3 Street-level Interaction

A. Entries:

1. Design Objectives:

a. Common entries to multi-story residential buildings:

Visible access to the buildings entry (with canopy for weather protection and visually highlighting the common entries) is proposed. Short term bike parking and well lit lighting is proposed along with year round landscaping and seasonal plantings at the main entries and along the street frontage.

2. Ensemble of elements:

c. Ground surface: Seating walls, special paving to street curb, landscaping, trees, lighting, are proposed.

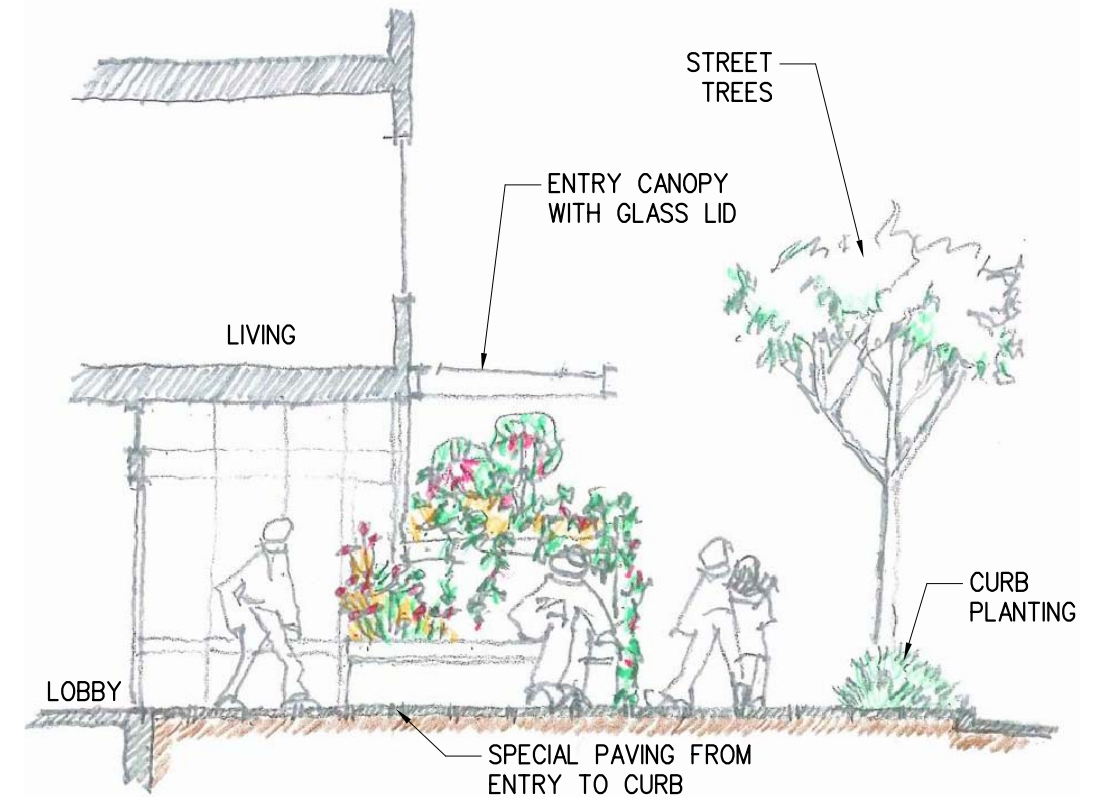
B. Residential Edges:

1. Security and privacy: The proposal would provide security and privacy to the adjacent properties due to the steep slope by not allowing many windows on the buildings. The proposal has provided an increased side yard setback than the minimum zoning requires. The setback is proposed to have vegetation to provide further privacy for the neighbor to the north and undeveloped site to the south. The neighbors to the east (do to the height of the steep slope) will look over the proposed buildings without view obstruction and no windows are proposed on the east side of the proposal's buildings. The rear yard exceeds the minimum requirements of zoning.

2. Ground-level Residential:

a. Vertical modulation and a range of exterior finishes on the façade to articulate the location of the residential entries: Vertical modulation will be emphasized by a range of exterior finishes. Recessed entries are proposed. Landscaping between street property line and buildings is proposed for additional privacy which will be enhanced by a low wall and well scaled landscaping.

b. Pedestrian scaled entry elements such as mail boxes, entry lights, and planter boxes: Mail boxes are proposed to be within the entry lobbies enclosures. Entry will be well lit with shielded light sources. Low planter boxes are proposed at the entries.



Section @ Building Entries



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DESIGN GUIDELINES

19 OCT 2019

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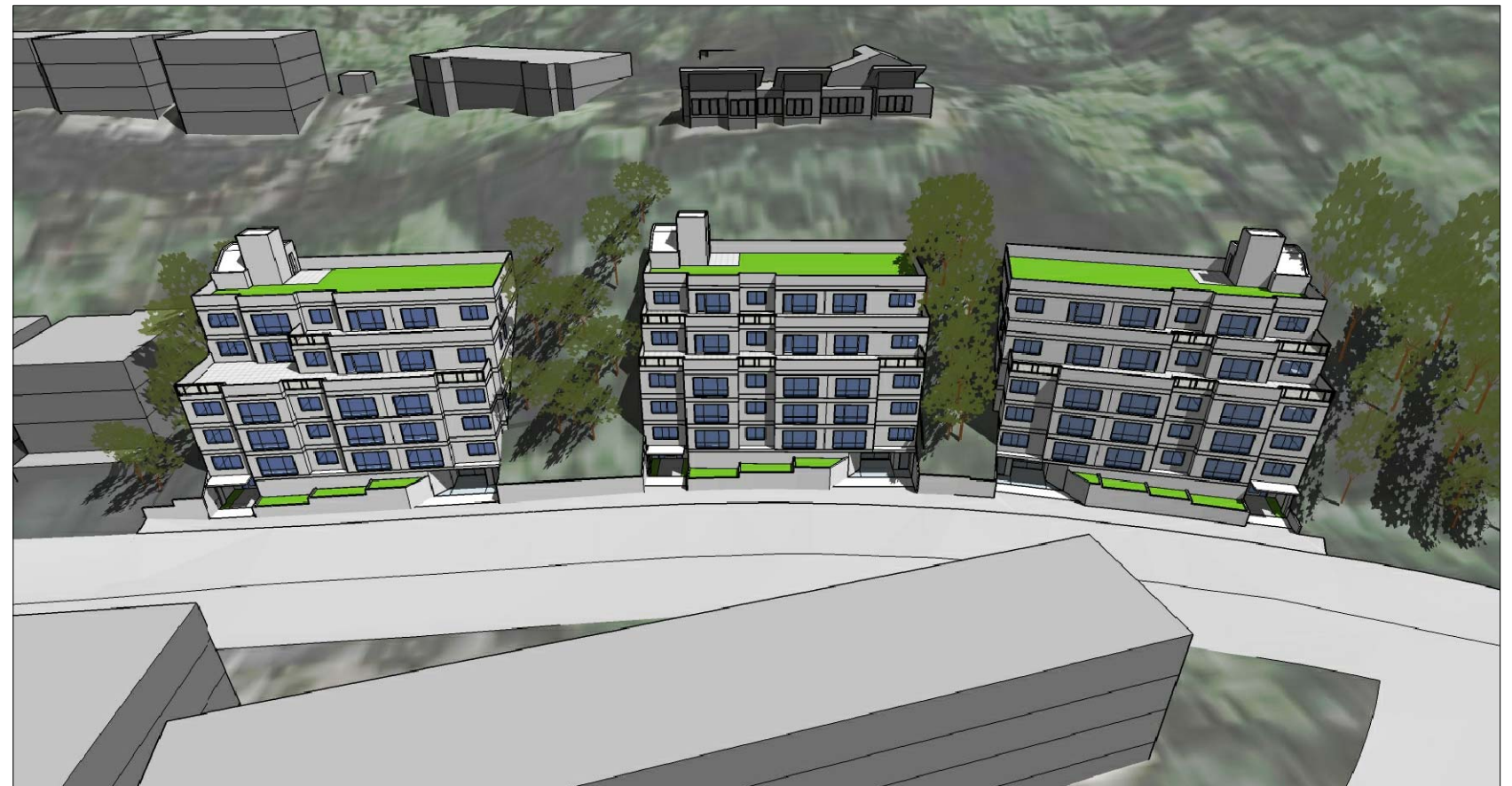
Lakeview Blvd E Street View Looking North



Lakeview Blvd E Street View Looking South



Bird's Eye View Looking South



Bird's Eye View Looking East



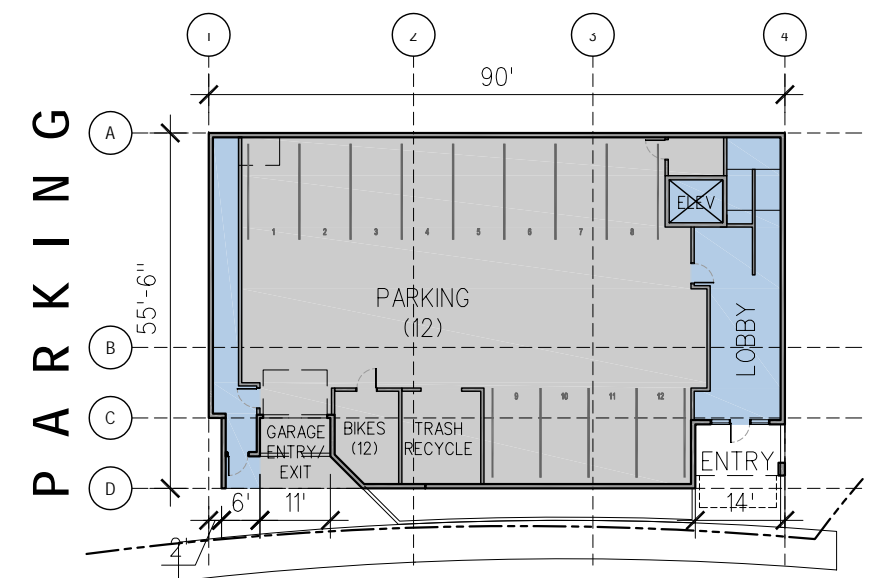
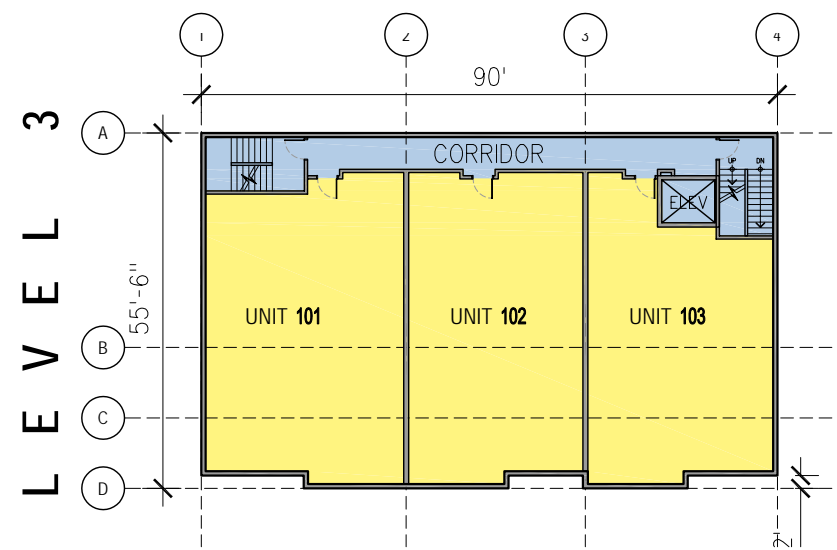
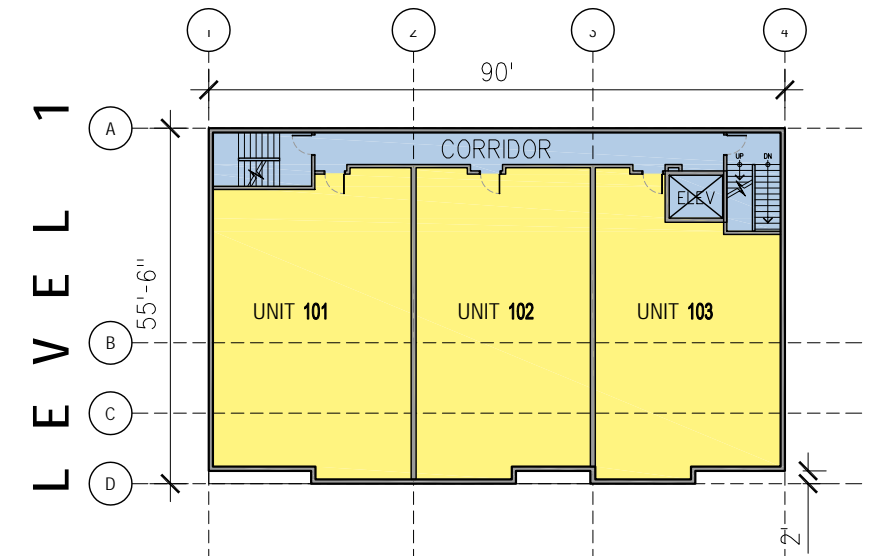
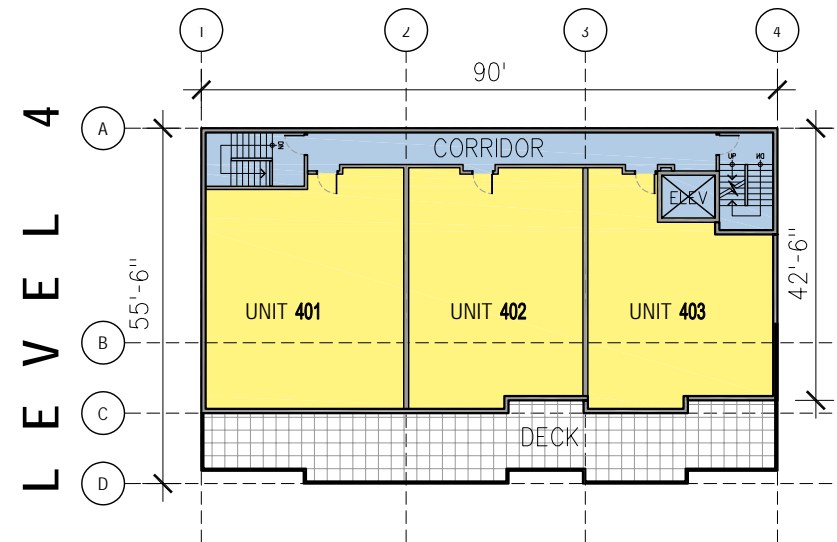
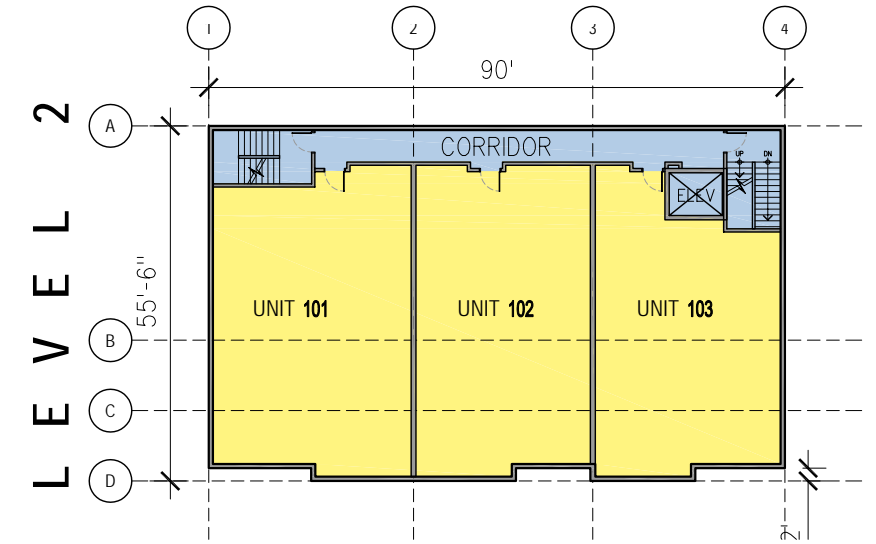
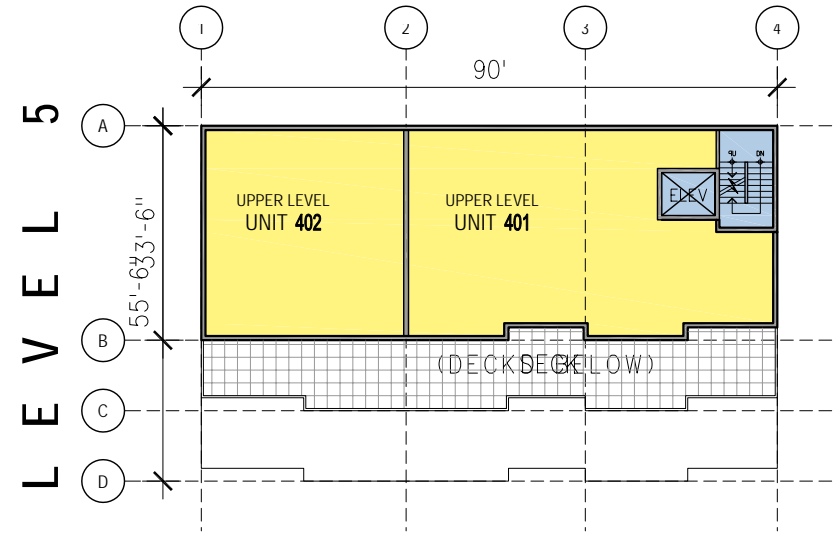
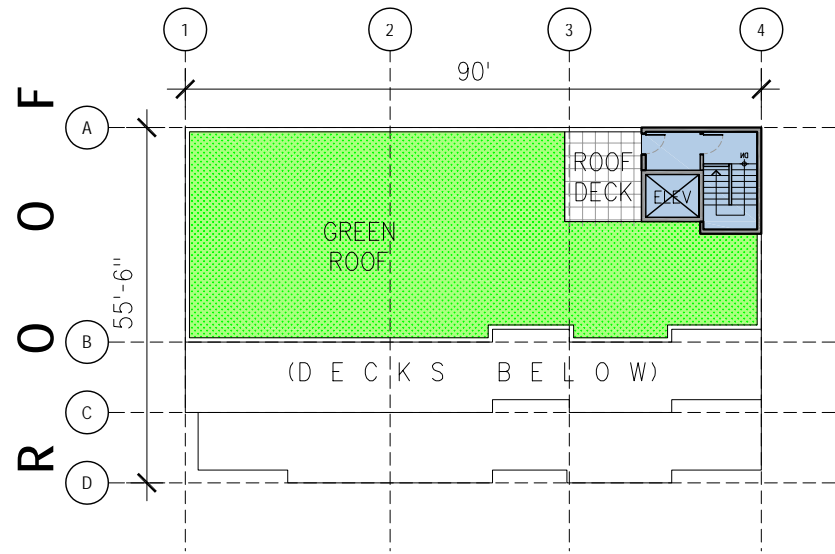
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AERIAL & STREET VIEWS,  
ALT #1

19 OCT 2019

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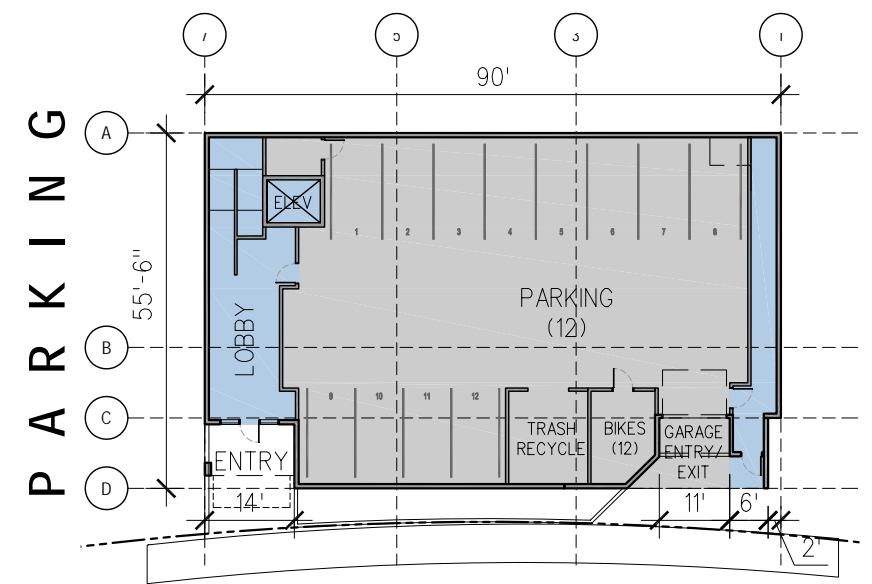
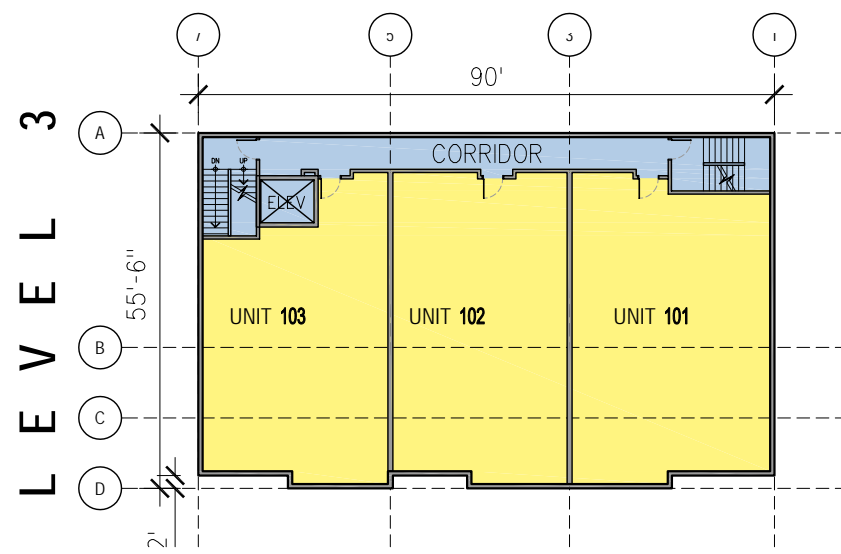
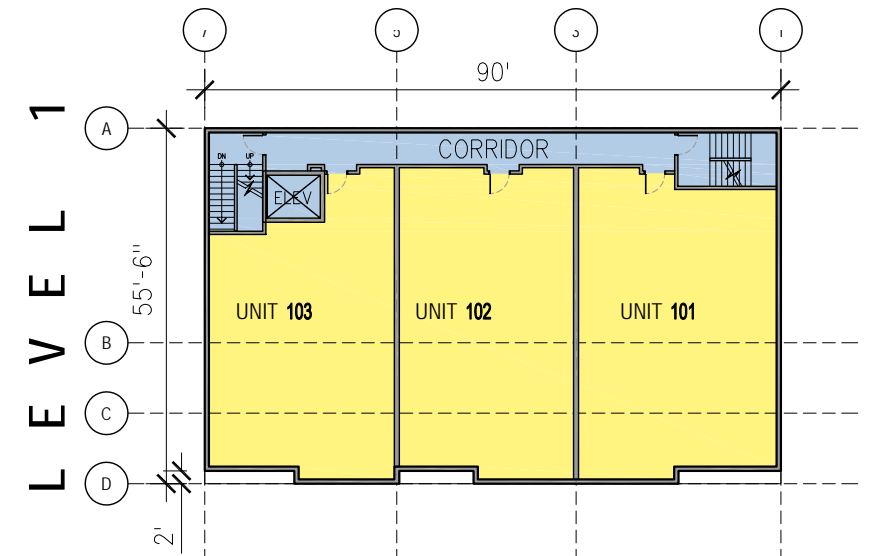
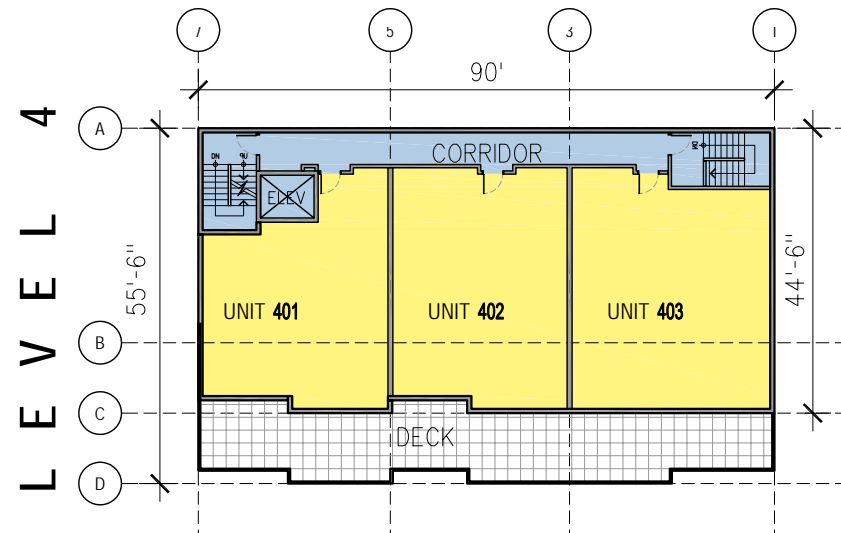
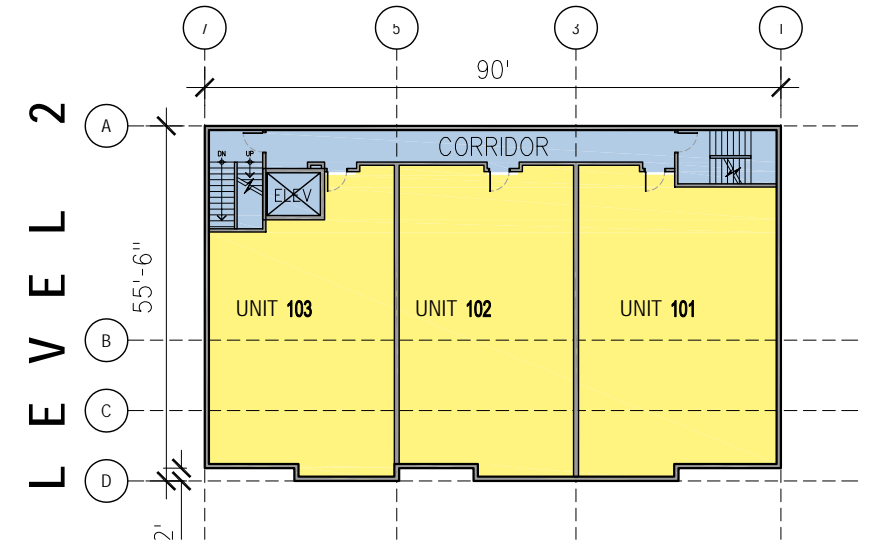
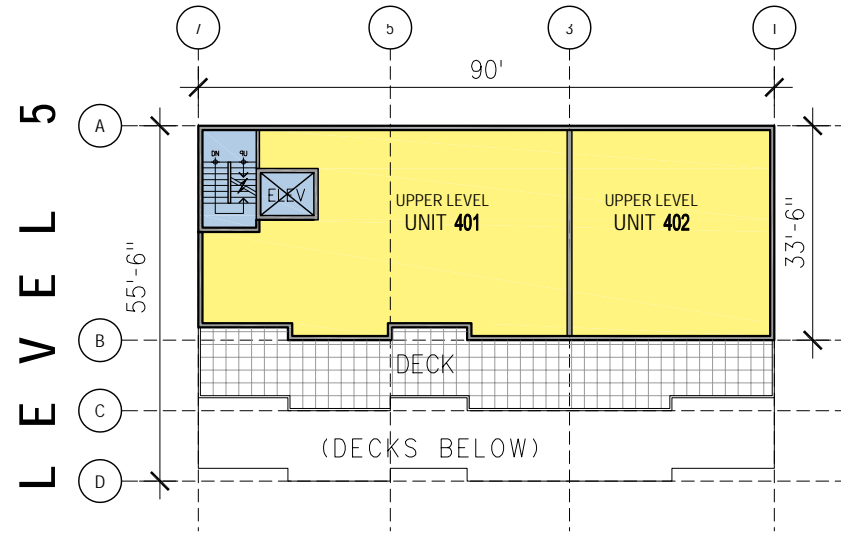
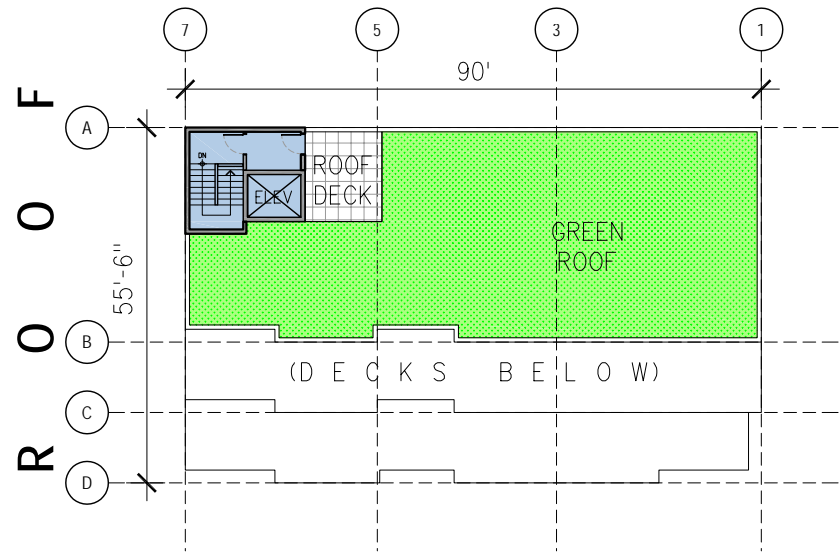
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**LAKEVIEW**  
 1500 BROADWAY EAST  
 SEATTLE, WA 98102

FLOOR PLANS -  
 BUILDING A, ALT #1

19 OCT 2019

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Example of Roof Top Deck



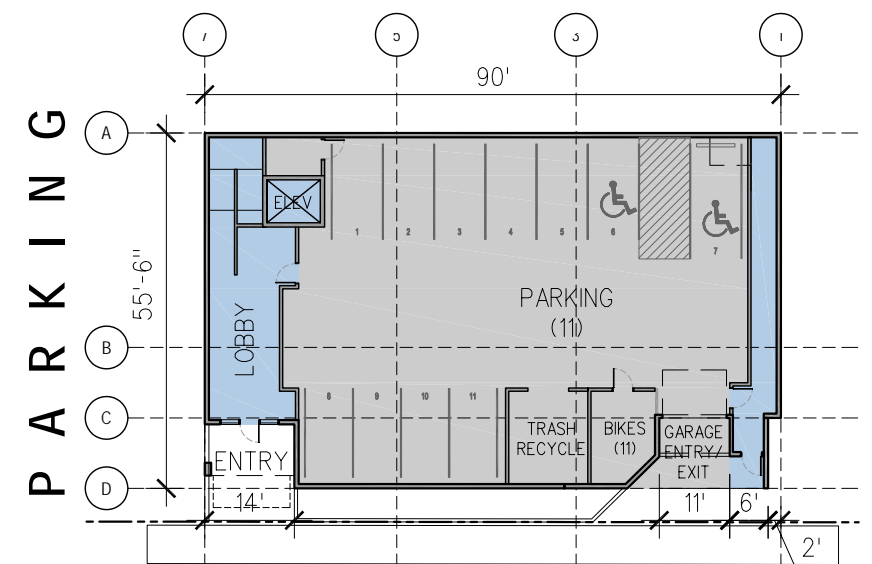
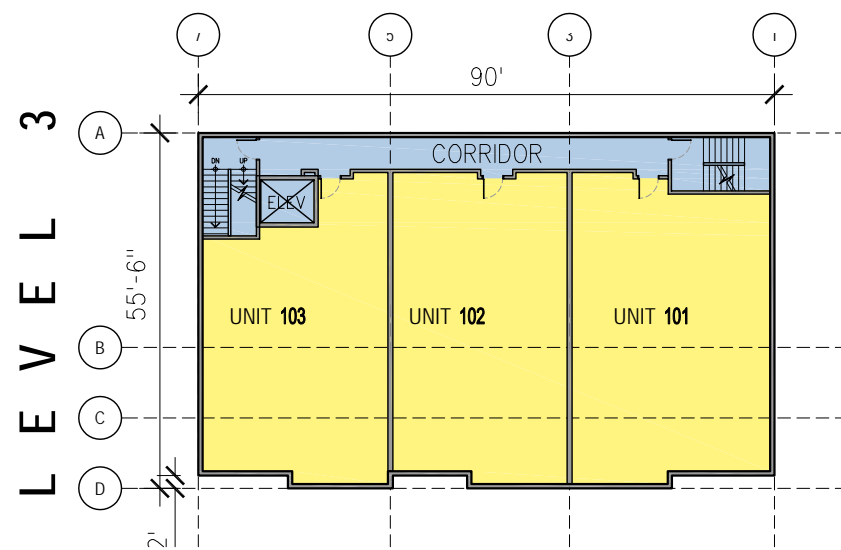
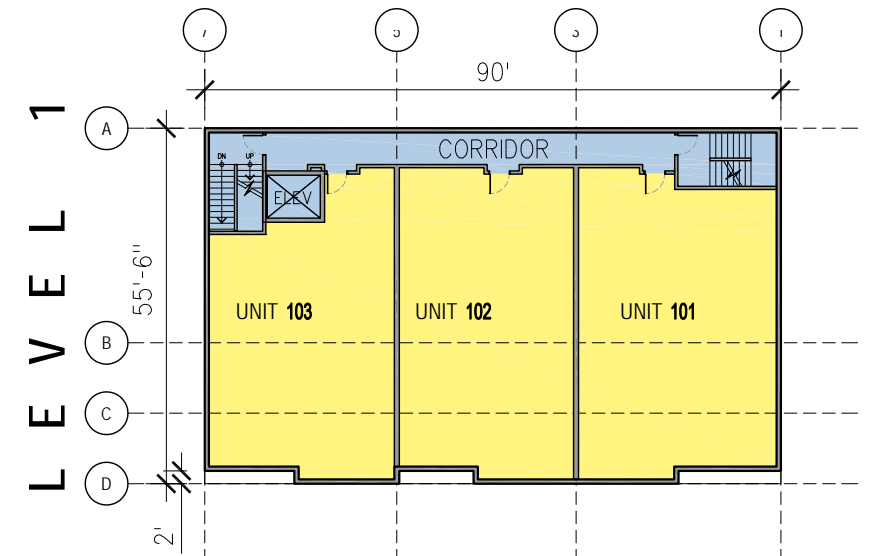
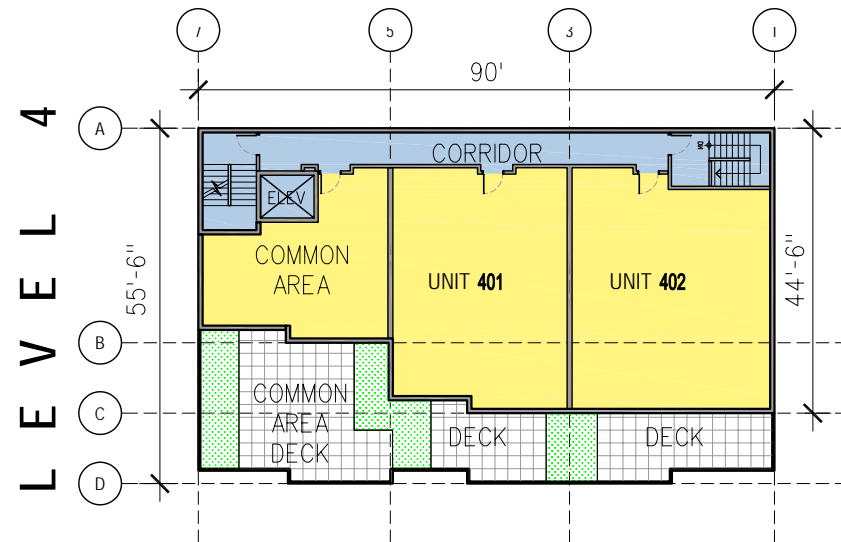
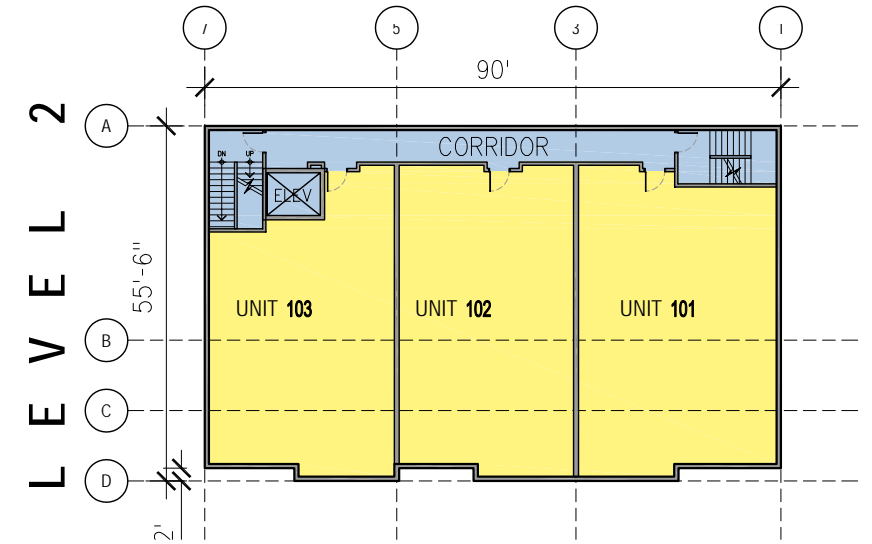
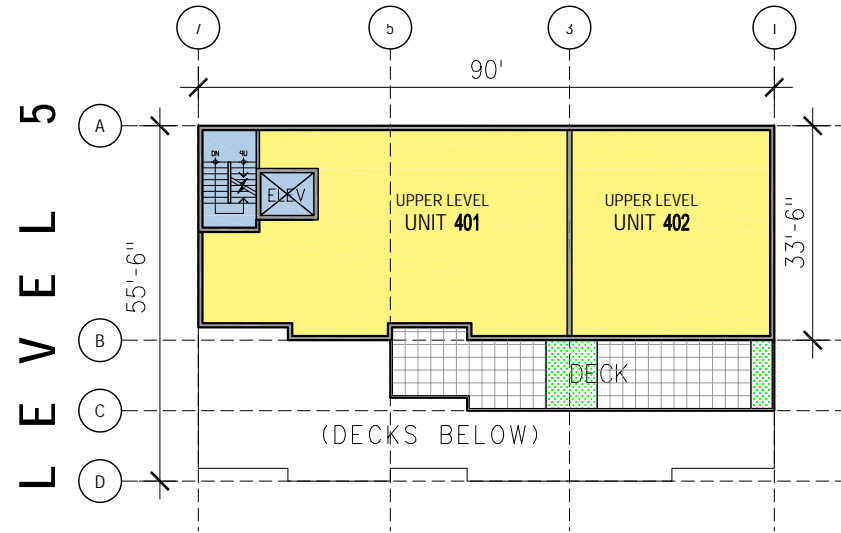
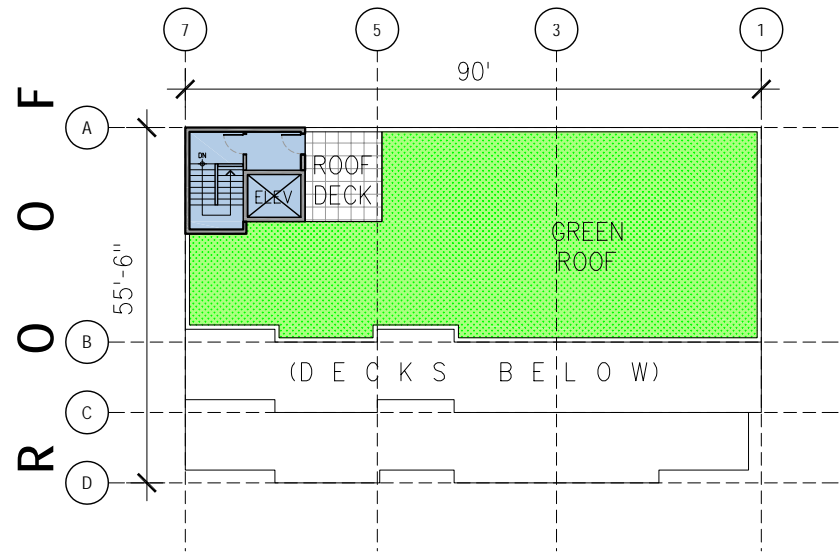
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**LAKEVIEW**  
 1500 BROADWAY EAST  
 SEATTLE, WA 98102

FLOOR PLANS -  
 BUILDING B, ALT #1

19 OCT 2019

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Example of Roof Top Deck



SCALE: 1" = 30'

LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

FLOOR PLANS -  
BUILDING C, ALT #1

19 OCT 2019

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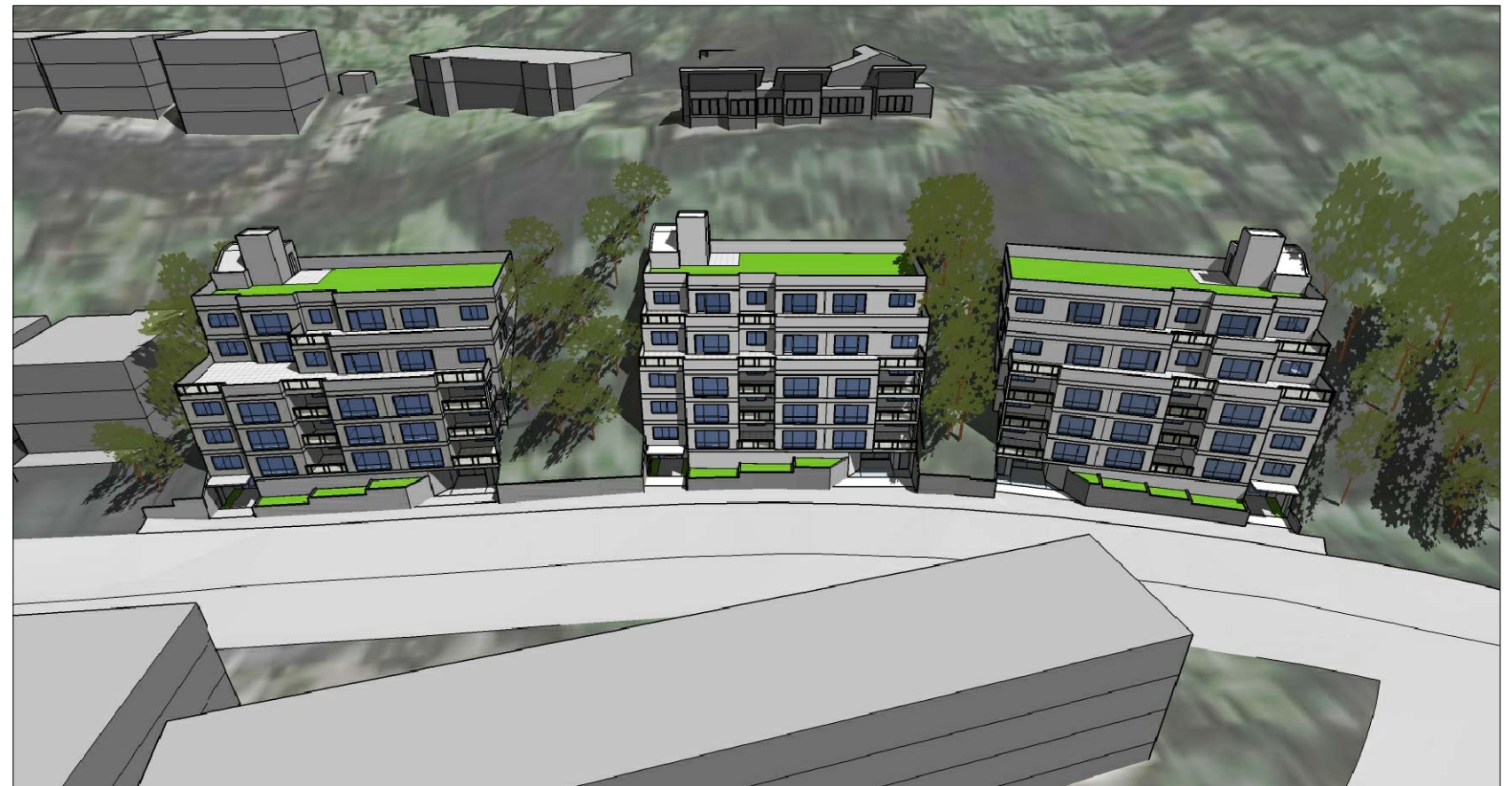
Lakeview Blvd E Street View Looking North



Lakeview Blvd E Street View Looking South



Bird's Eye View Looking South



Bird's Eye View Looking East



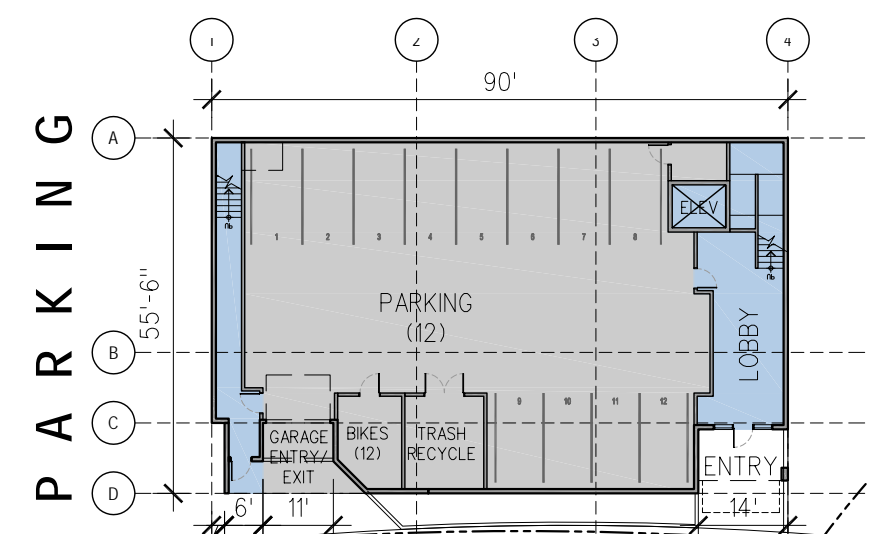
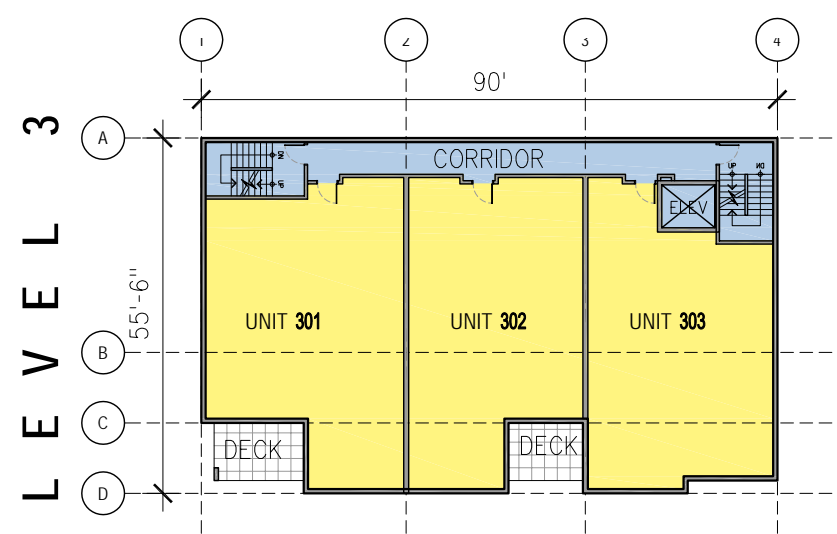
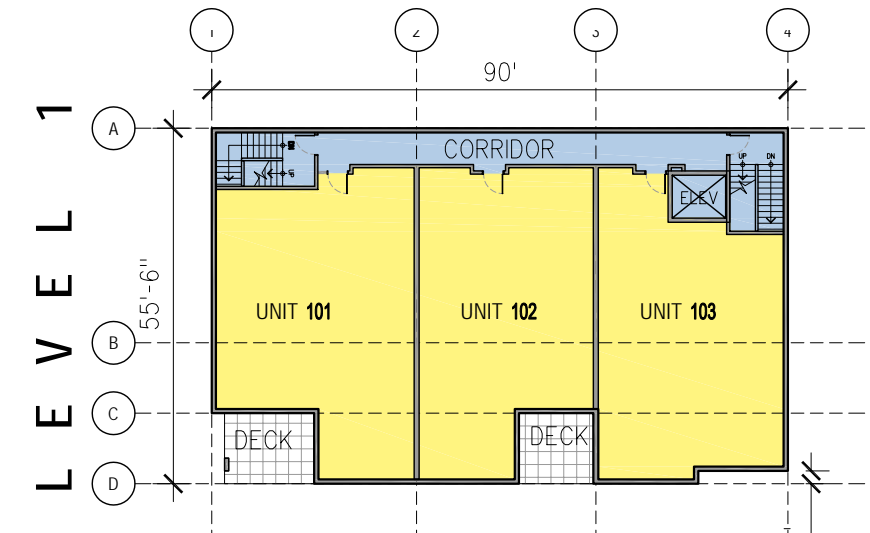
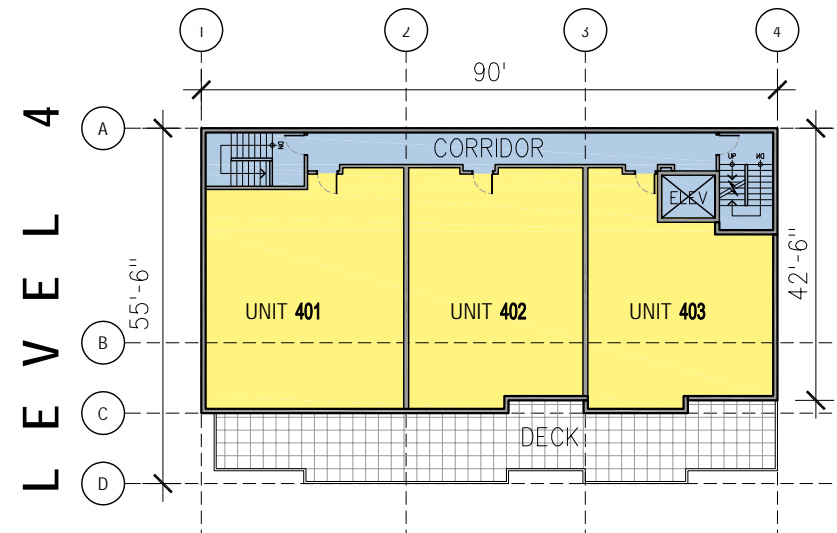
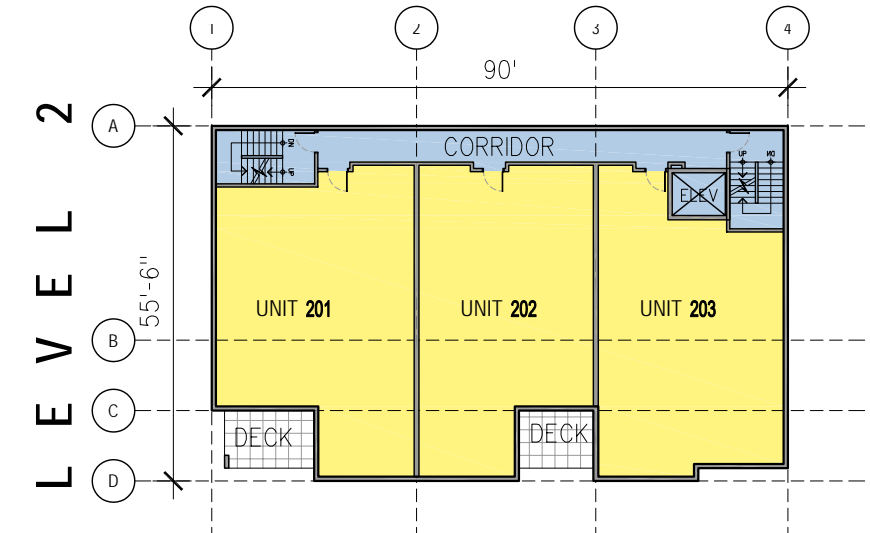
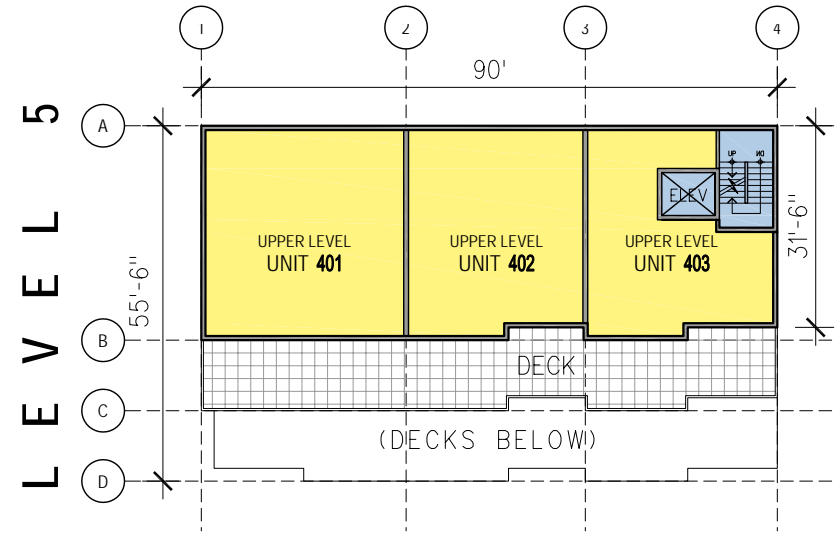
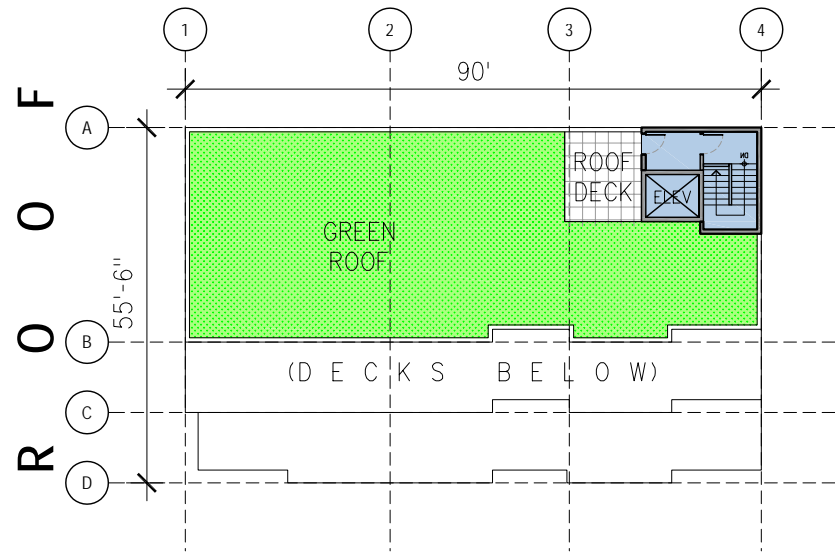
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LAKEVIEW  
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SEATTLE, WA 98102

AERIAL & STREET VIEWS,  
ALT #2

19 OCT 2019

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Example of Roof Top Deck



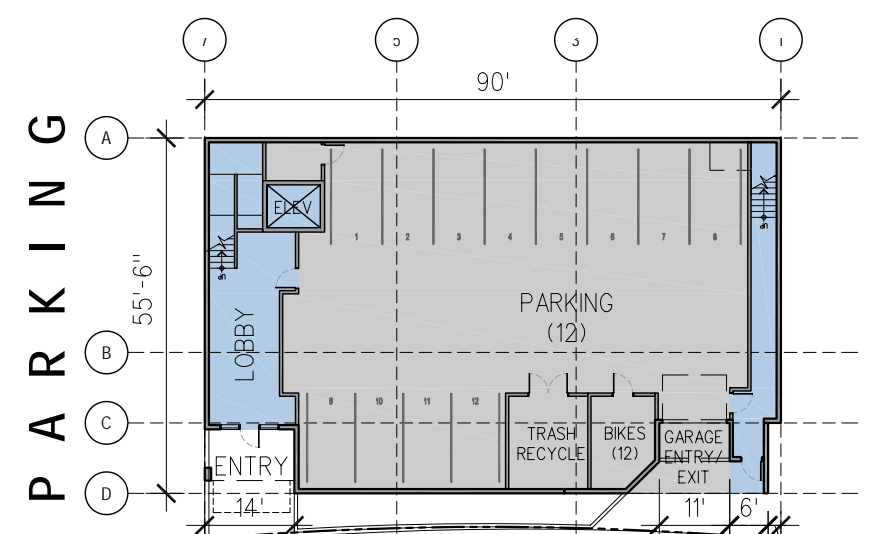
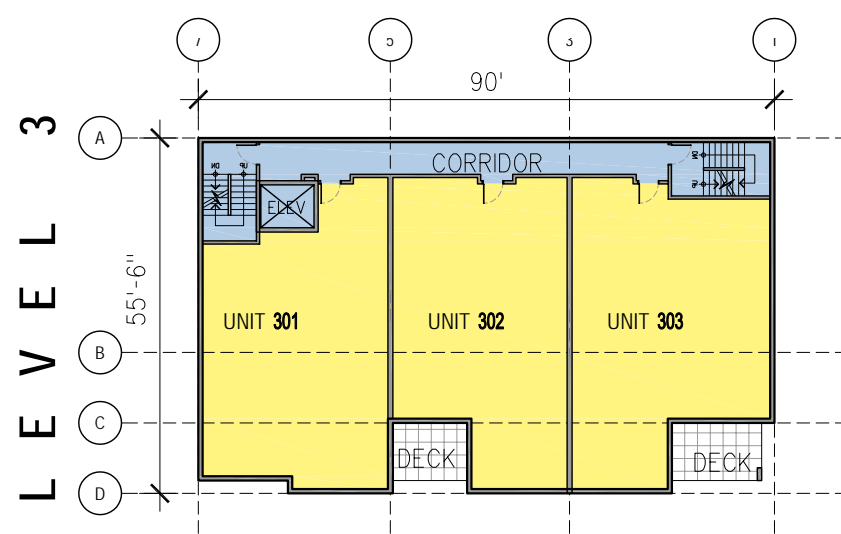
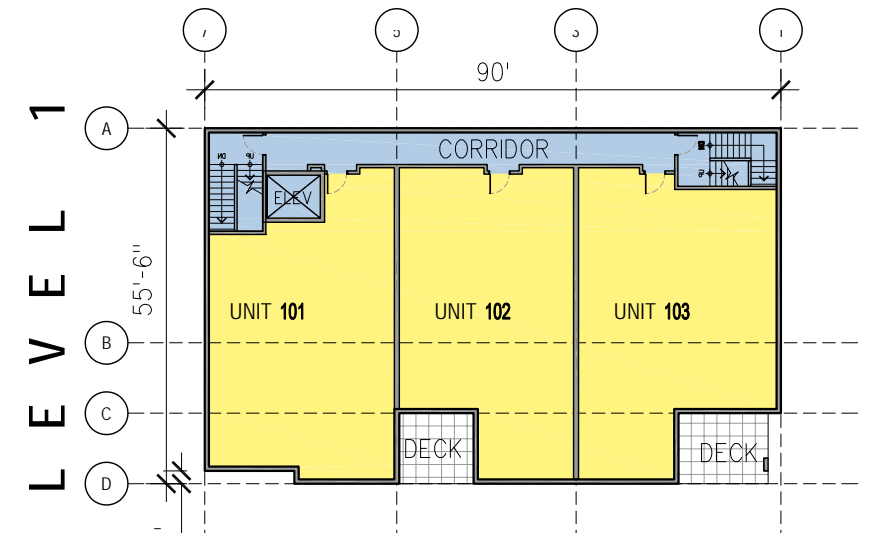
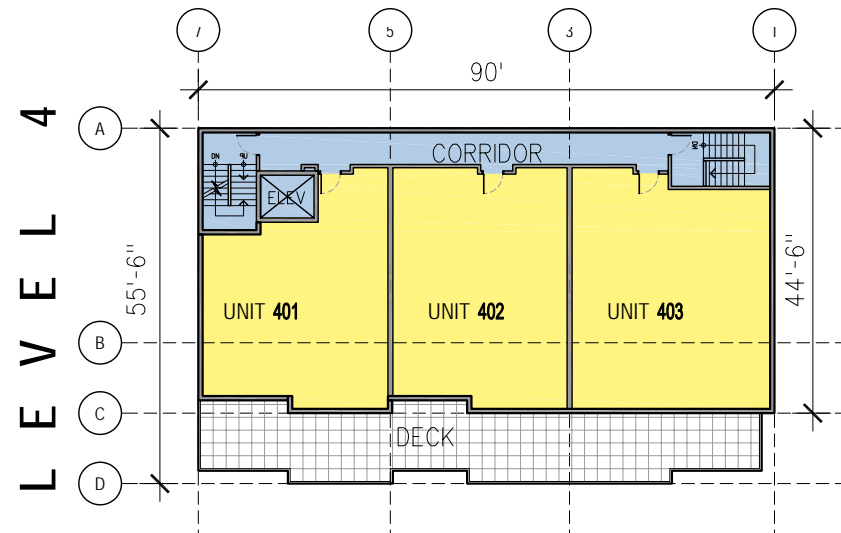
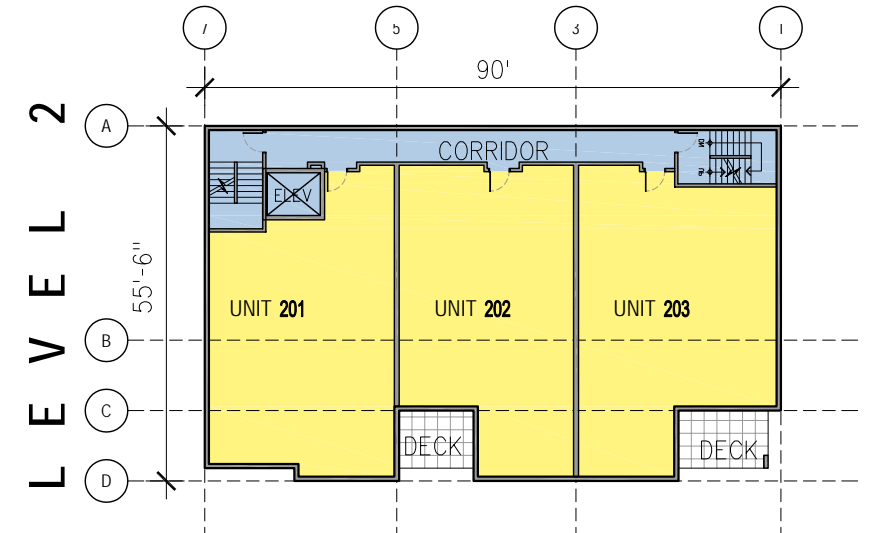
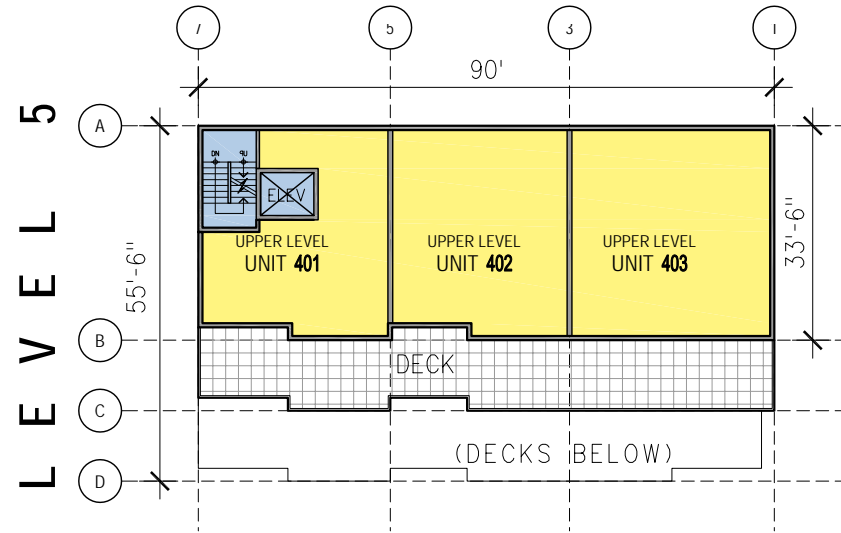
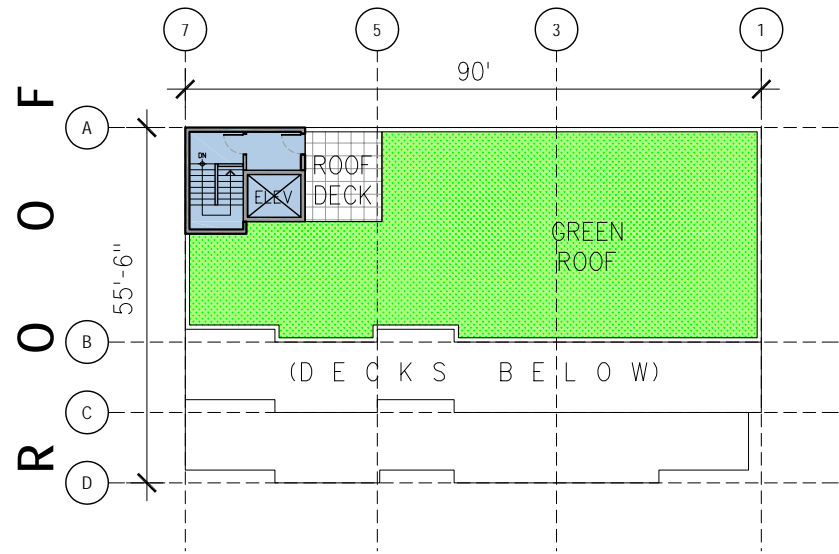
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LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

FLOOR PLANS -  
BUILDING A, ALT #2

19 OCT 2019

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Example of Roof Top Deck



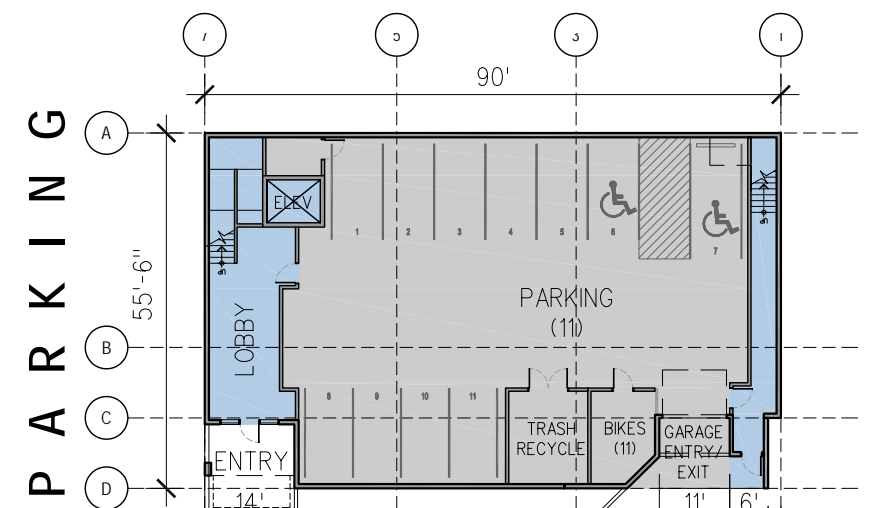
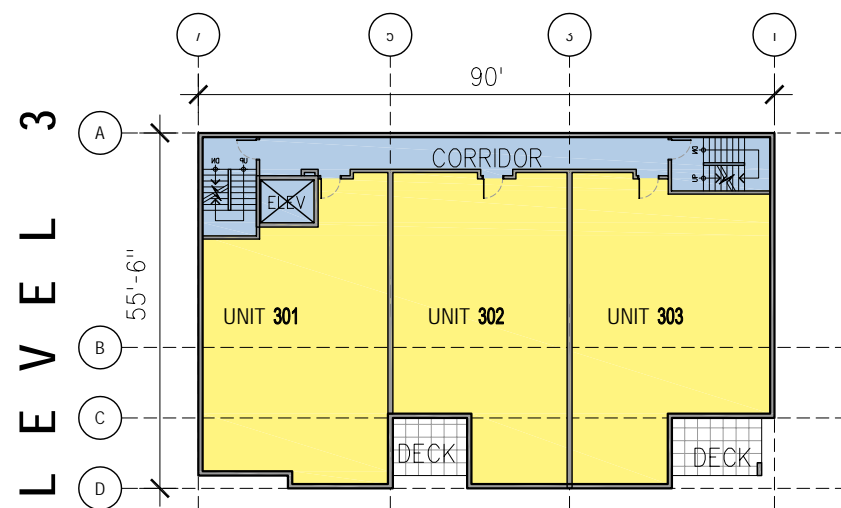
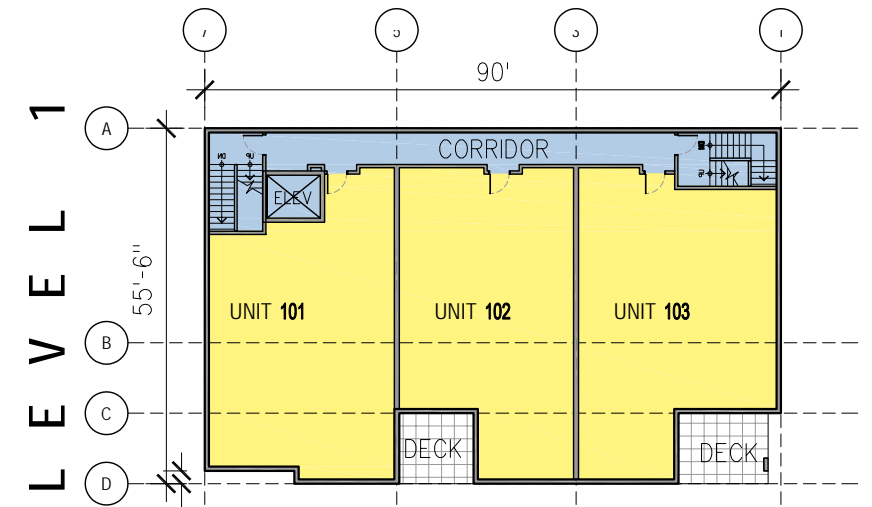
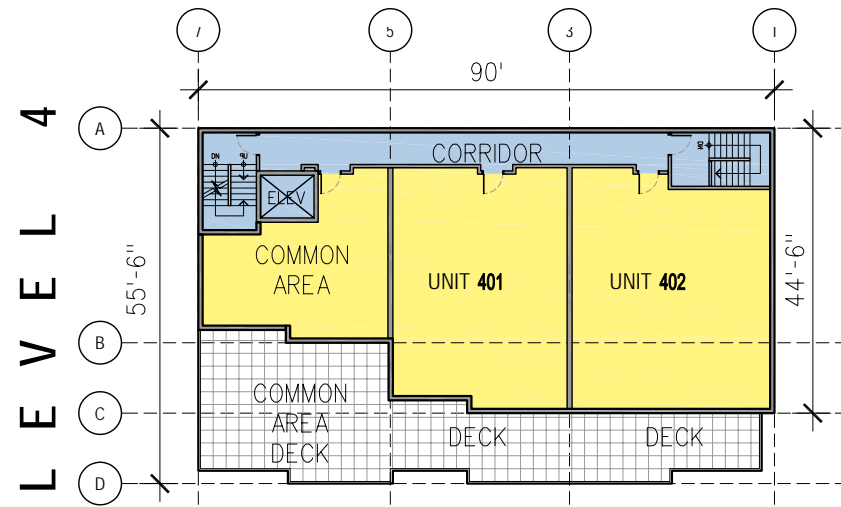
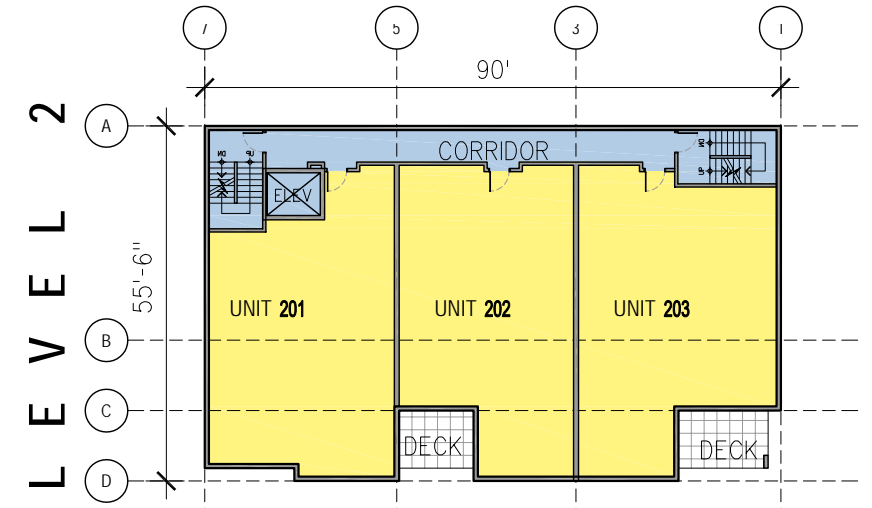
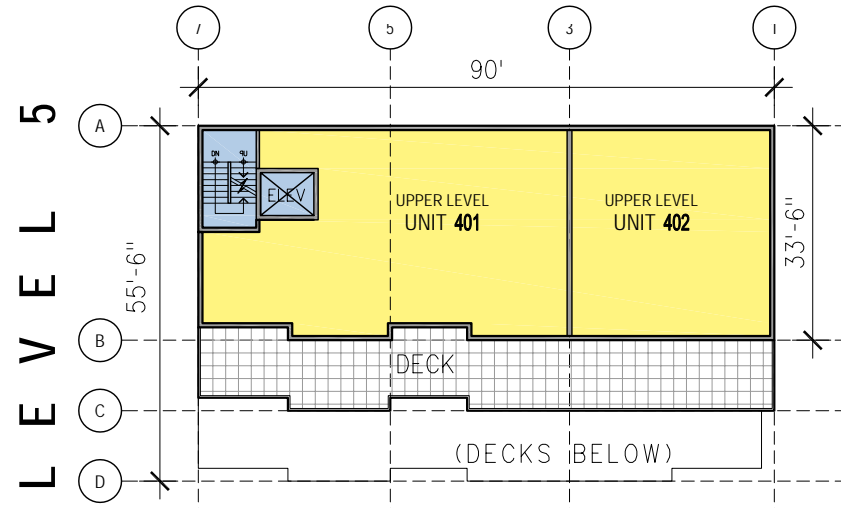
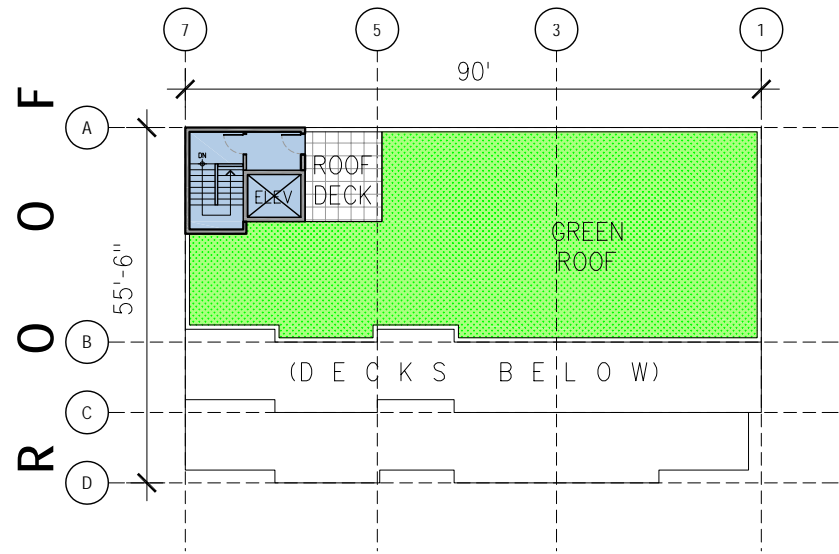
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**LAKEVIEW**  
 1500 BROADWAY EAST  
 SEATTLE, WA 98102

FLOOR PLANS -  
 BUILDING B, ALT #2

19 OCT 2019

**26**



Example of Roof Top Deck



SCALE: 1" = 30'

**LAKEVIEW**  
 1500 BROADWAY EAST  
 SEATTLE, WA 98102

FLOOR PLANS -  
 BUILDING C, ALT #2

19 OCT 2019

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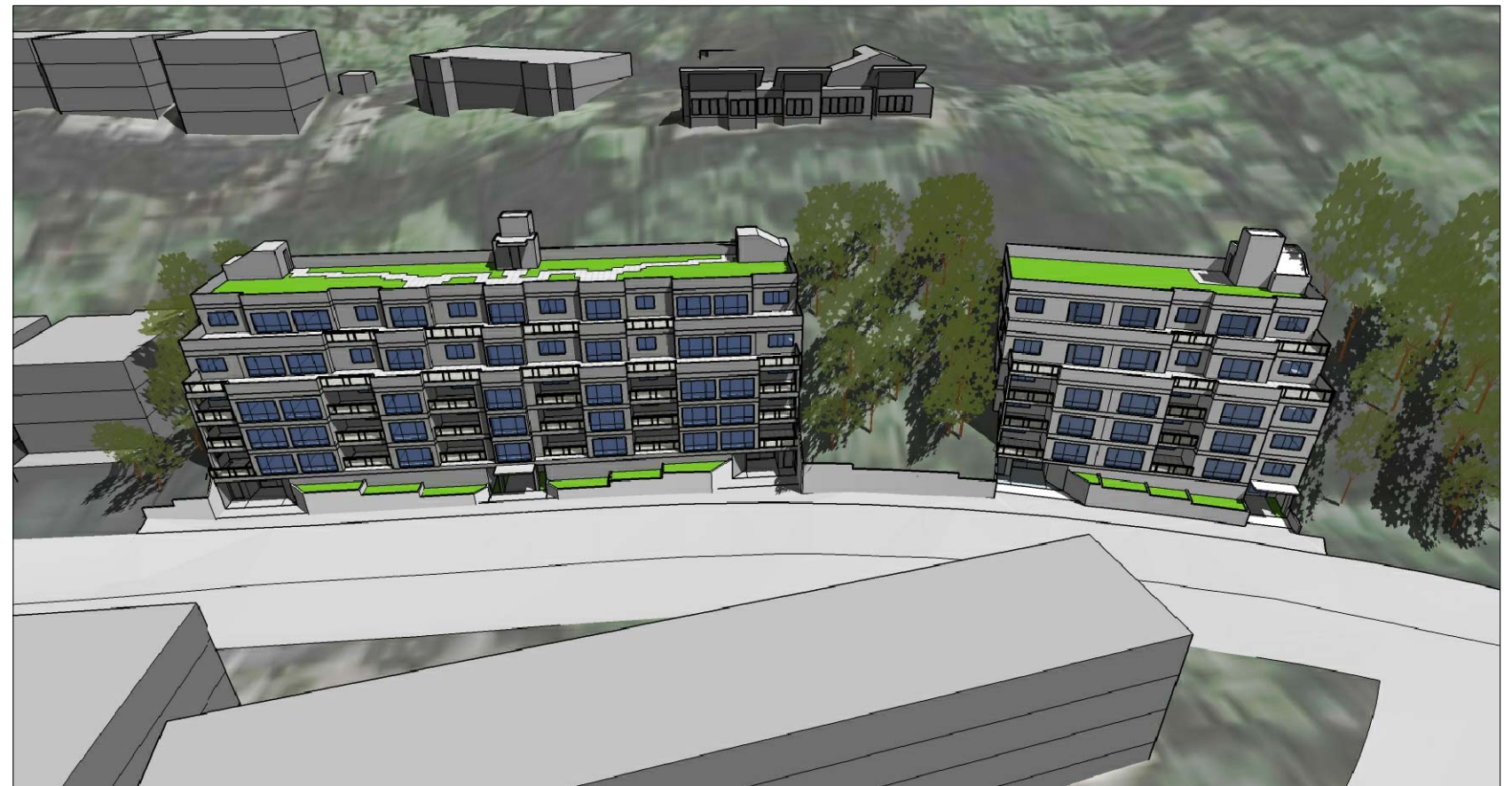
Lakeview Blvd E Street View Looking North



Lakeview Blvd E Street View Looking South



Bird's Eye View Looking South



Bird's Eye View Looking East



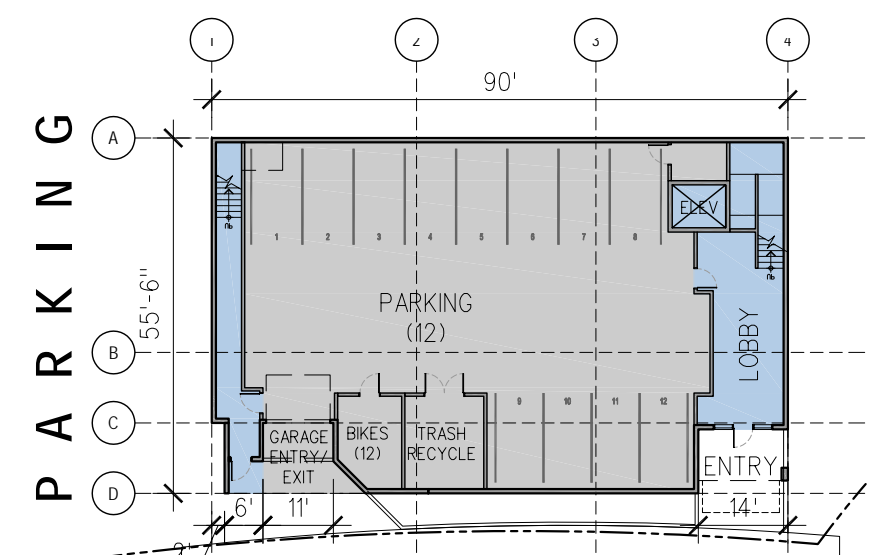
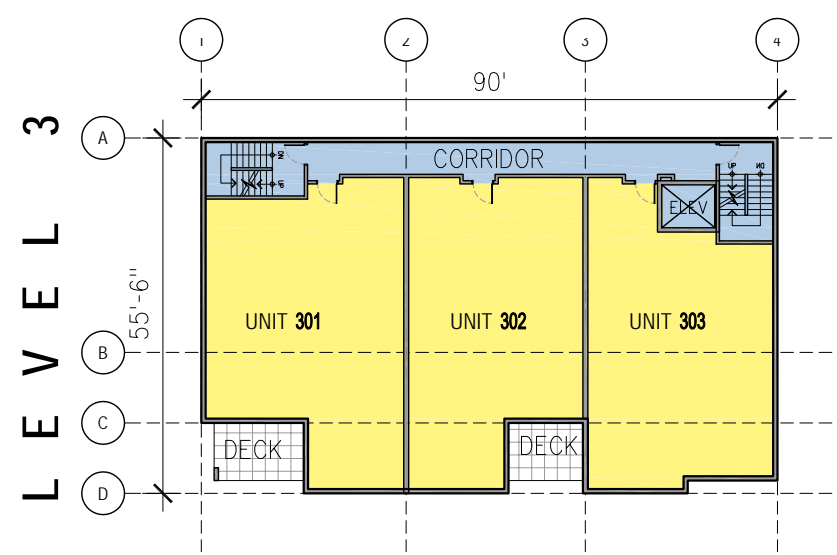
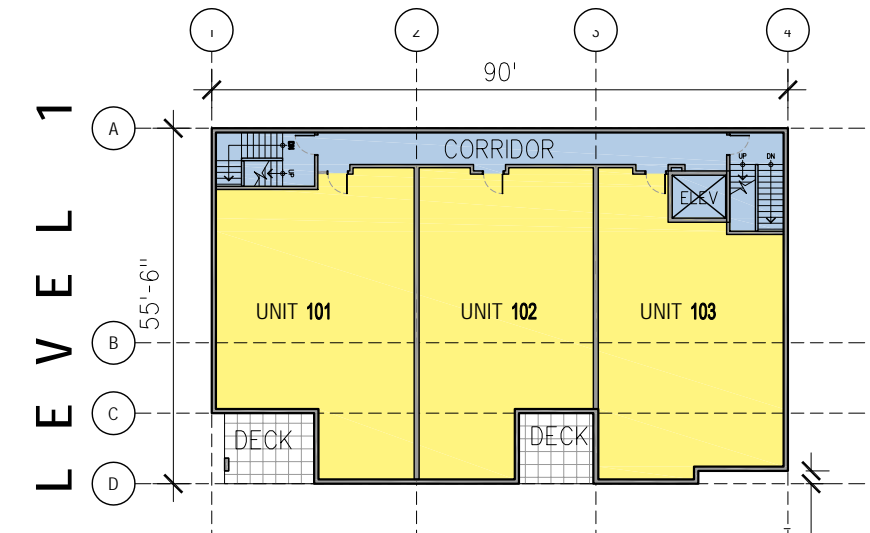
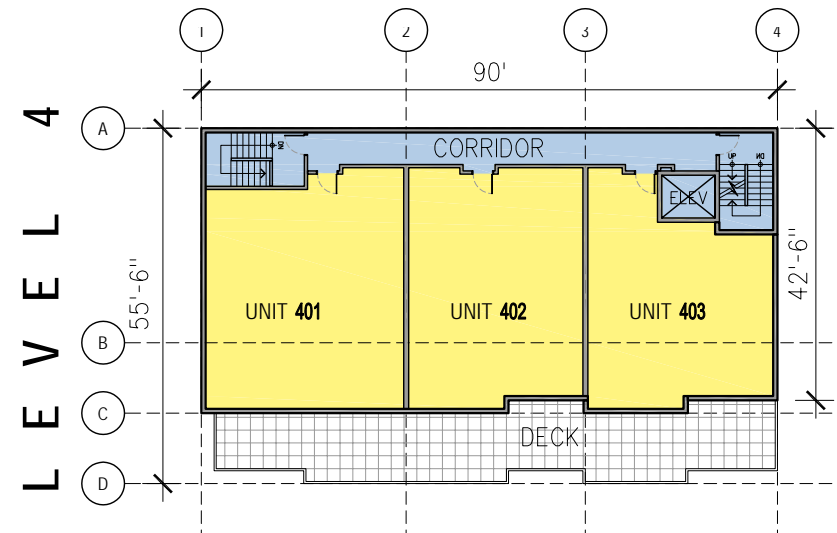
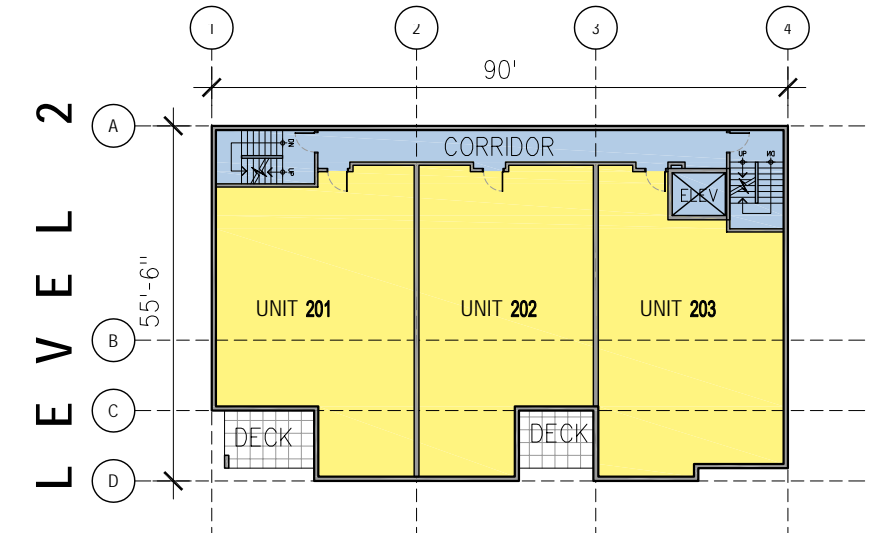
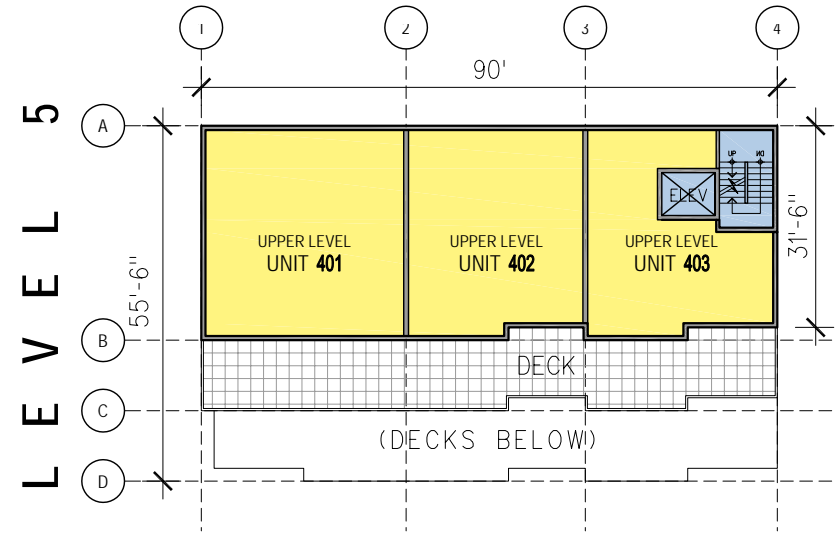
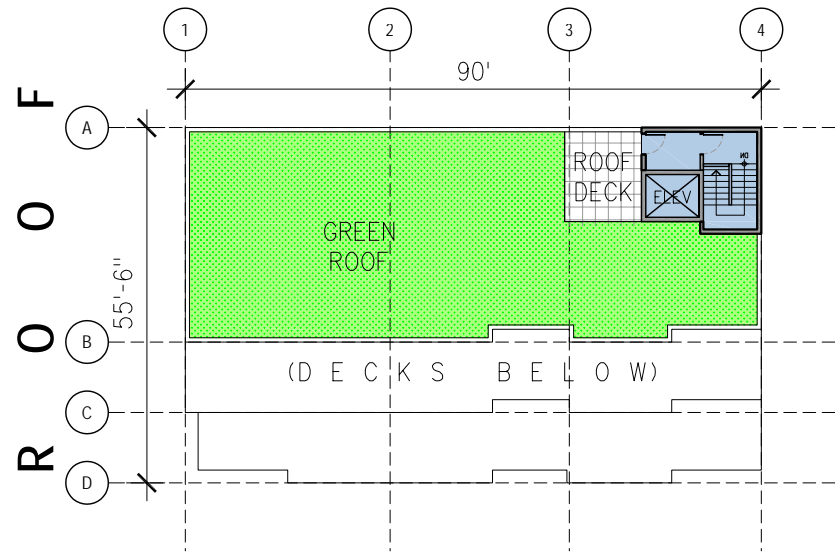
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LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

AERIAL & STREET VIEWS,  
ALT #3 PREFERRED

19 OCT 2019

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Example of Roof Deck

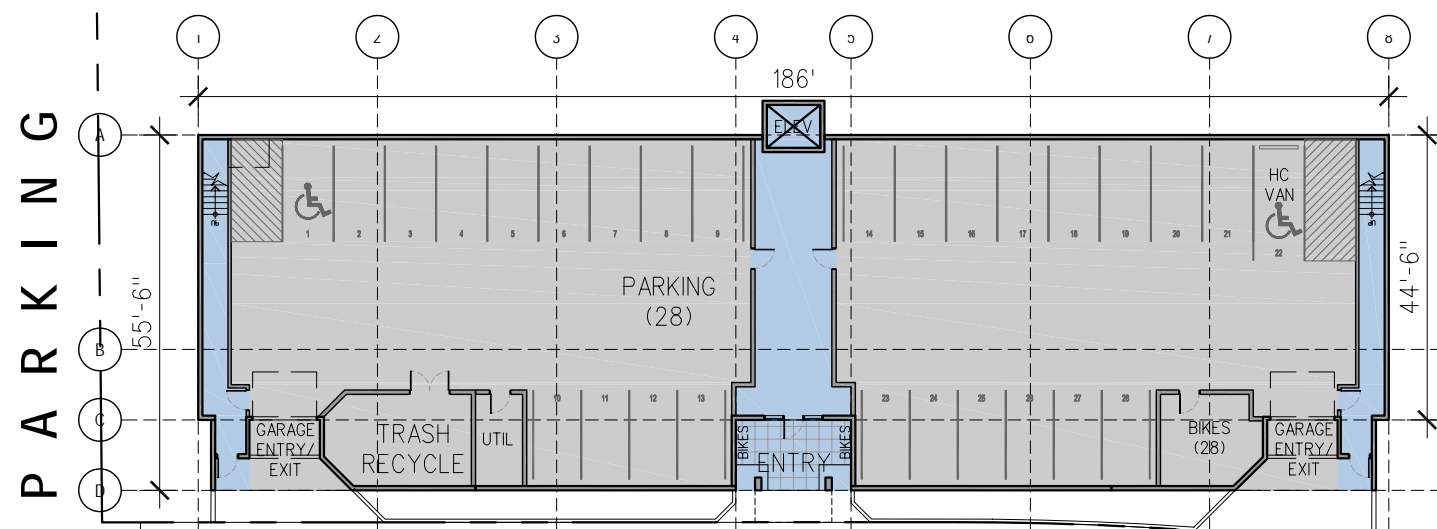
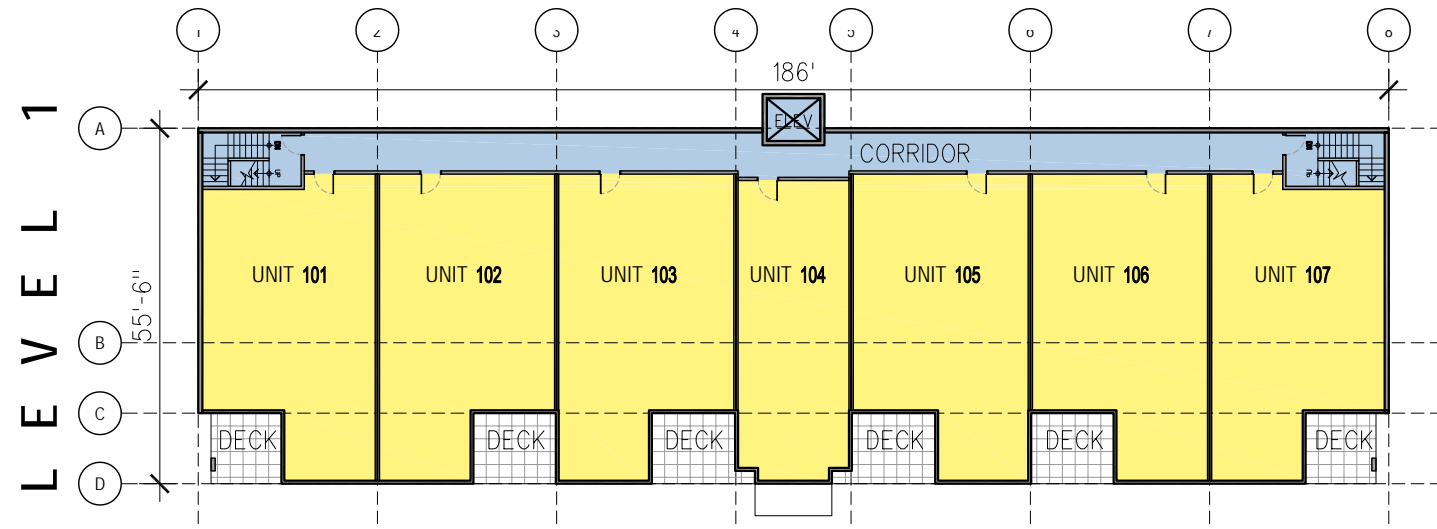
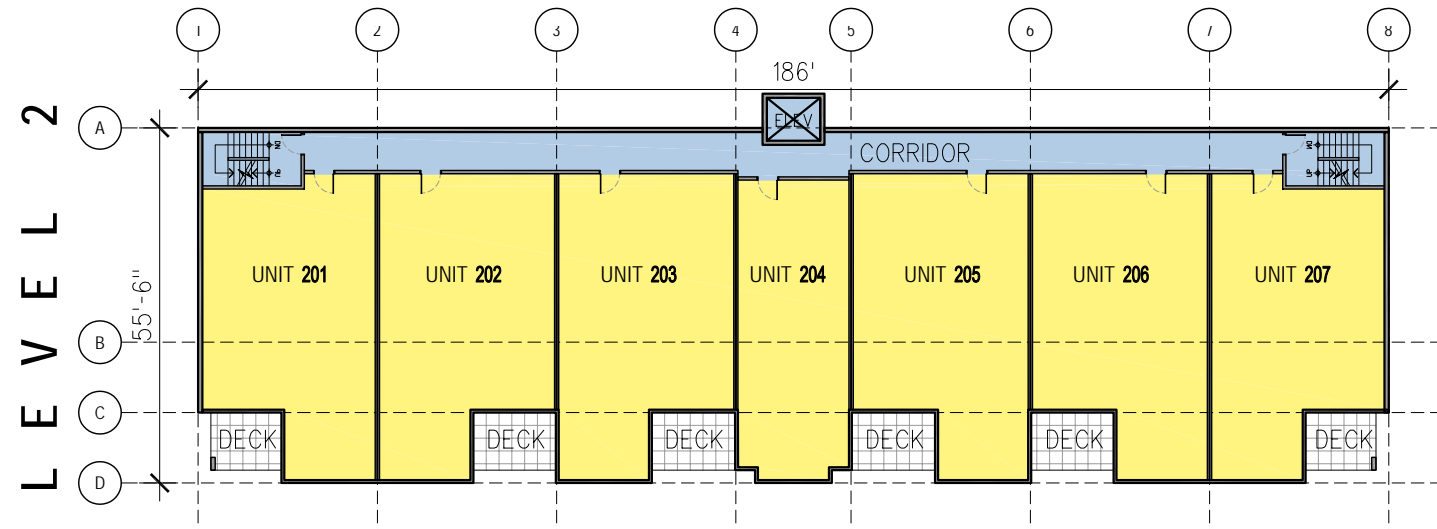
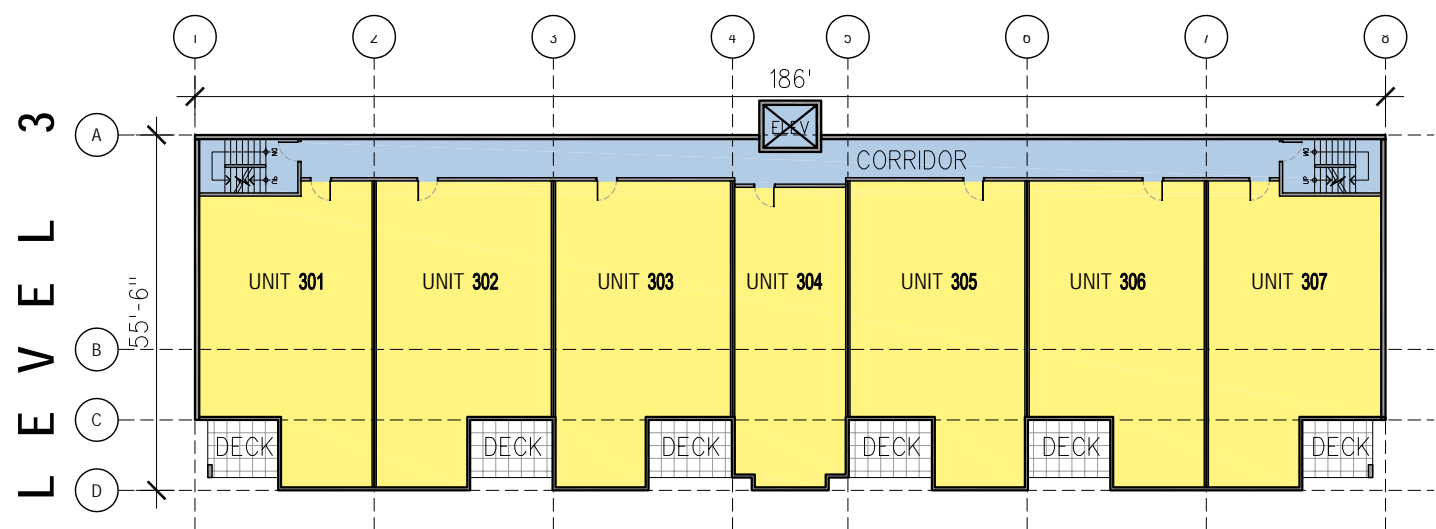
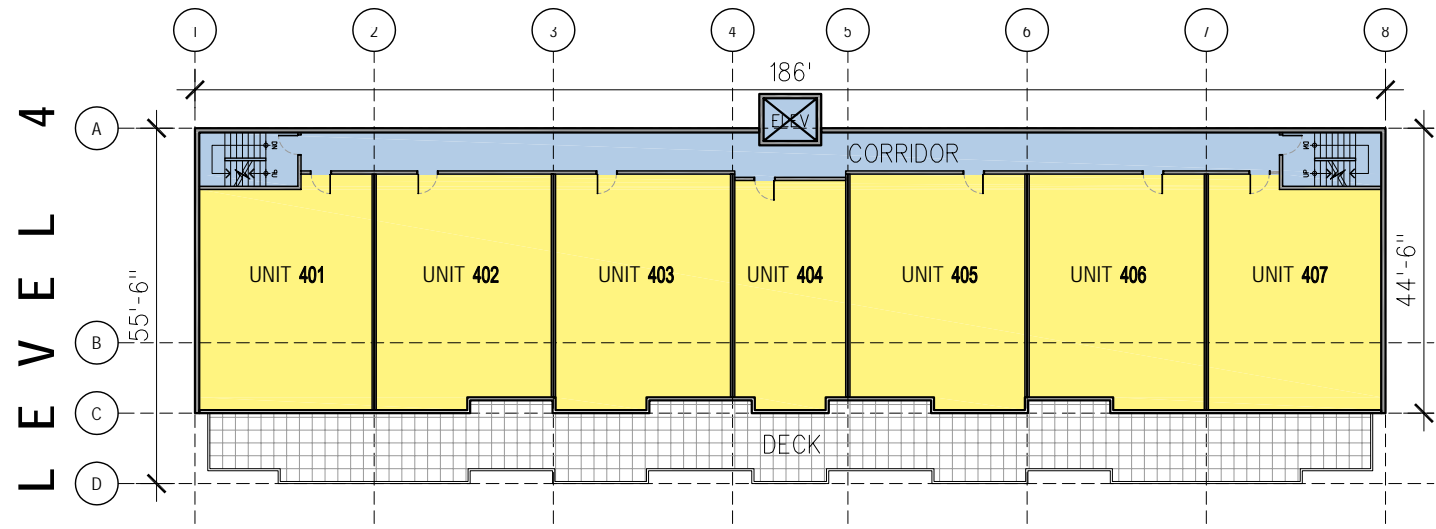
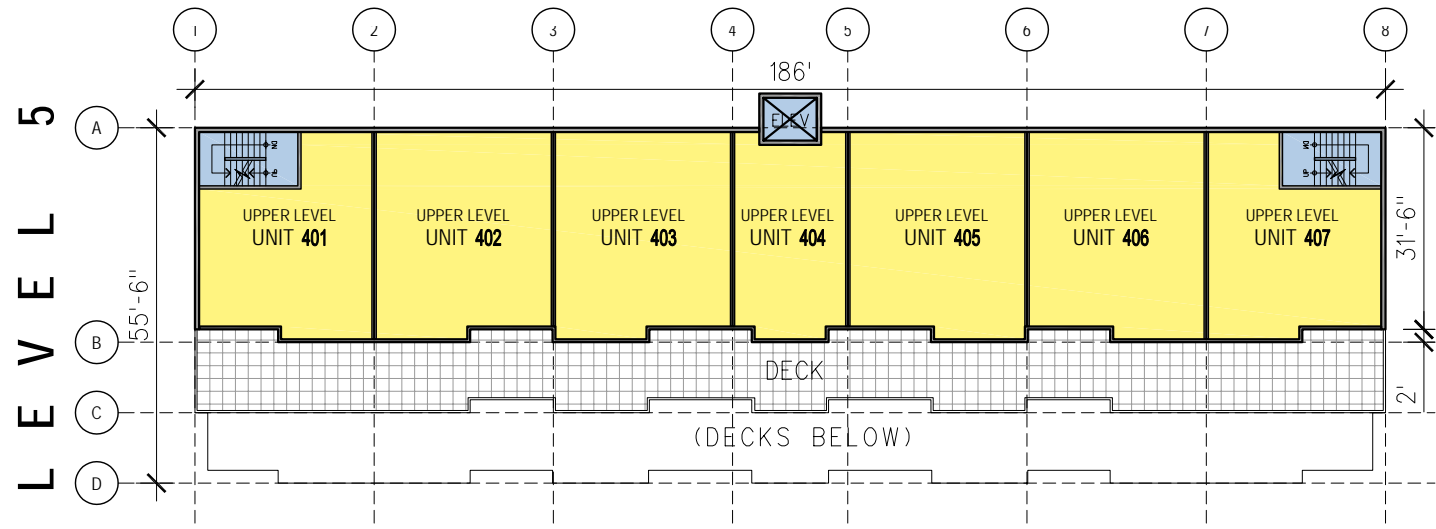


SCALE: 1" = 30'

**LAKEVIEW**  
 1500 BROADWAY EAST  
 SEATTLE, WA 98102

FLOOR PLANS -  
 BUILDING A, ALT #3  
 PREFERRED

19 OCT 2019



SCALE: 1" = 30'



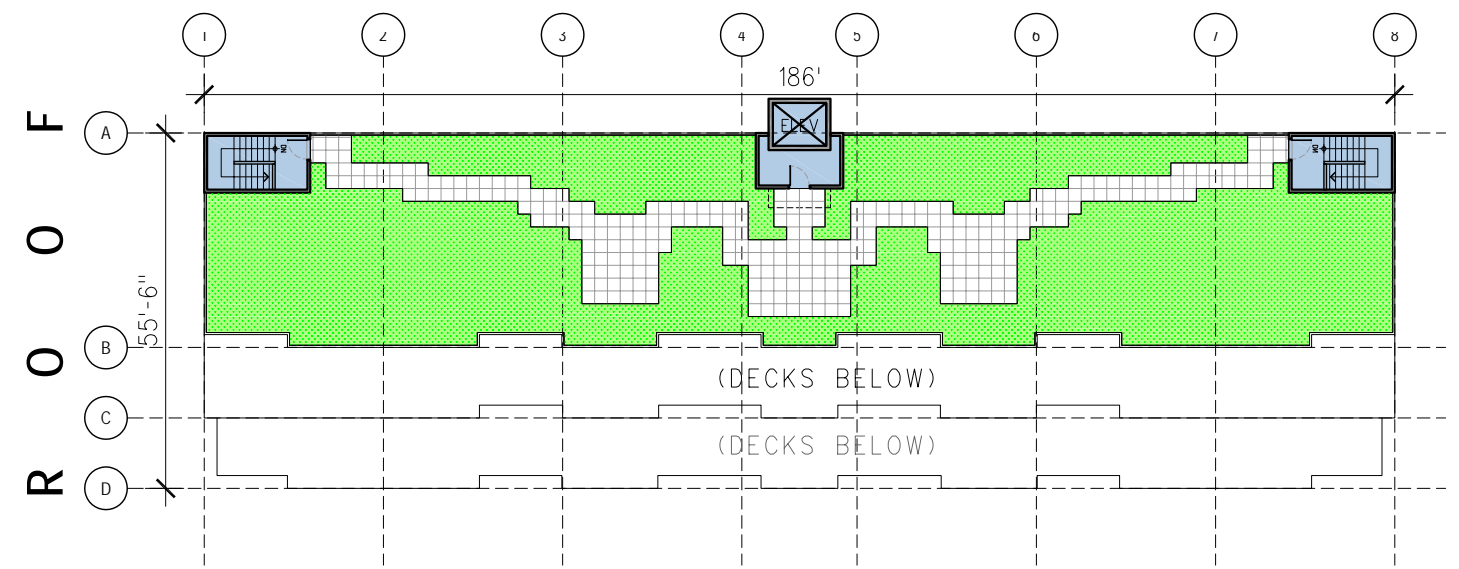
Example of Roof Deck



Example of Roof Deck



Roof Deck Dog Run



SCALE: 1" = 30'

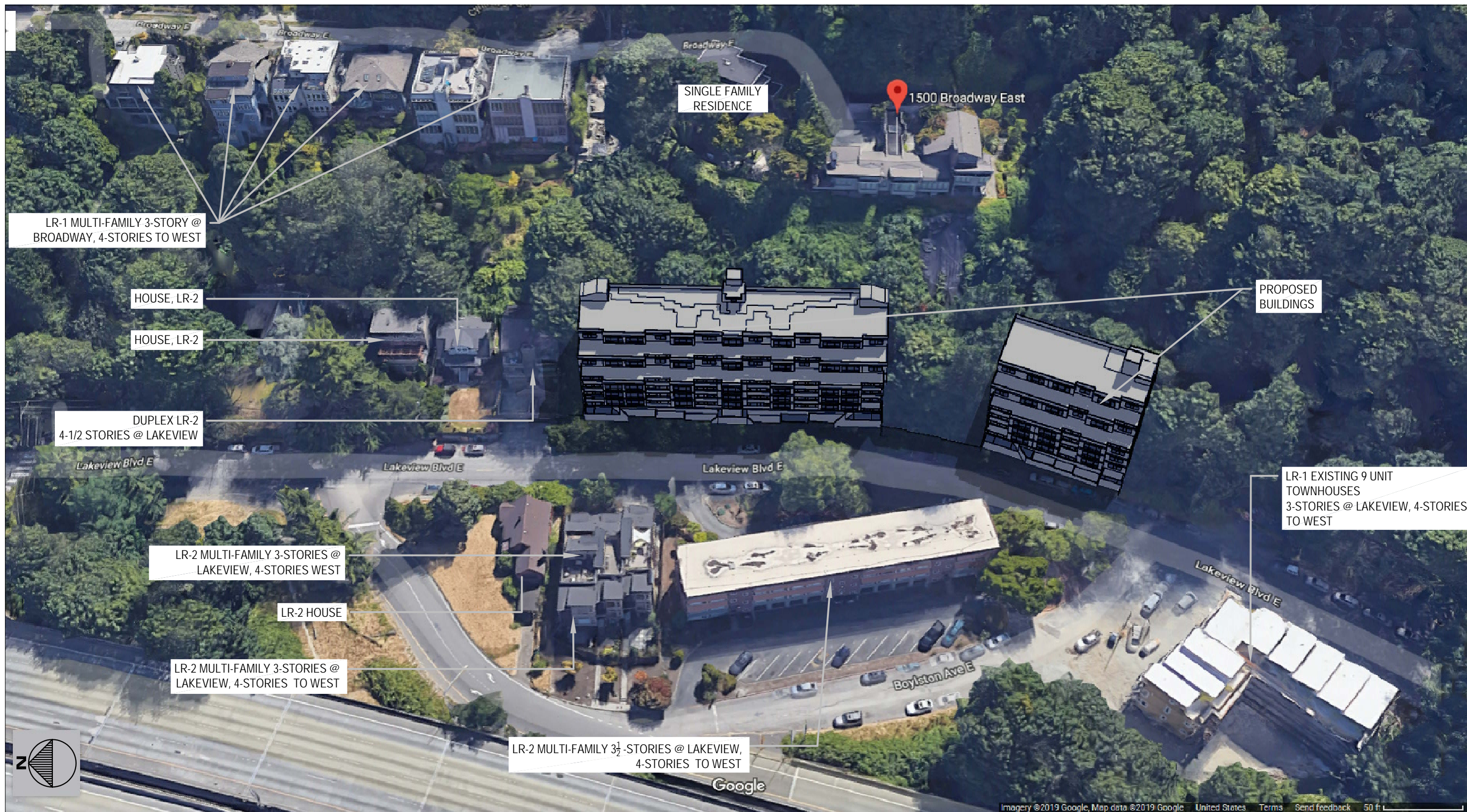
**LAKEVIEW**  
 1500 BROADWAY EAST  
 SEATTLE, WA 98102

ROOF PLAN -  
 BUILDING B, ALT #3  
 PREFERRED

19 OCT 2019



*Alternates #1 & #2*



LR-1 MULTI-FAMILY 3-STORY @  
BROADWAY, 4-STORIES TO WEST

HOUSE, LR-2

HOUSE, LR-2

DUPLEX LR-2  
4-1/2 STORIES @ LAKEVIEW

LR-2 MULTI-FAMILY 3-STORIES @  
LAKEVIEW, 4-STORIES WEST

LR-2 HOUSE

LR-2 MULTI-FAMILY 3-STORIES @  
LAKEVIEW, 4-STORIES TO WEST

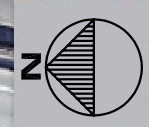
LR-2 MULTI-FAMILY 3 1/2 -STORIES @ LAKEVIEW,  
4-STORIES TO WEST

SINGLE FAMILY  
RESIDENCE

1500 Broadway East

PROPOSED  
BUILDINGS

LR-1 EXISTING 9 UNIT  
TOWNHOUSES  
3-STORIES @ LAKEVIEW, 4-STORIES  
TO WEST



*Alternate #3 - Preferred*



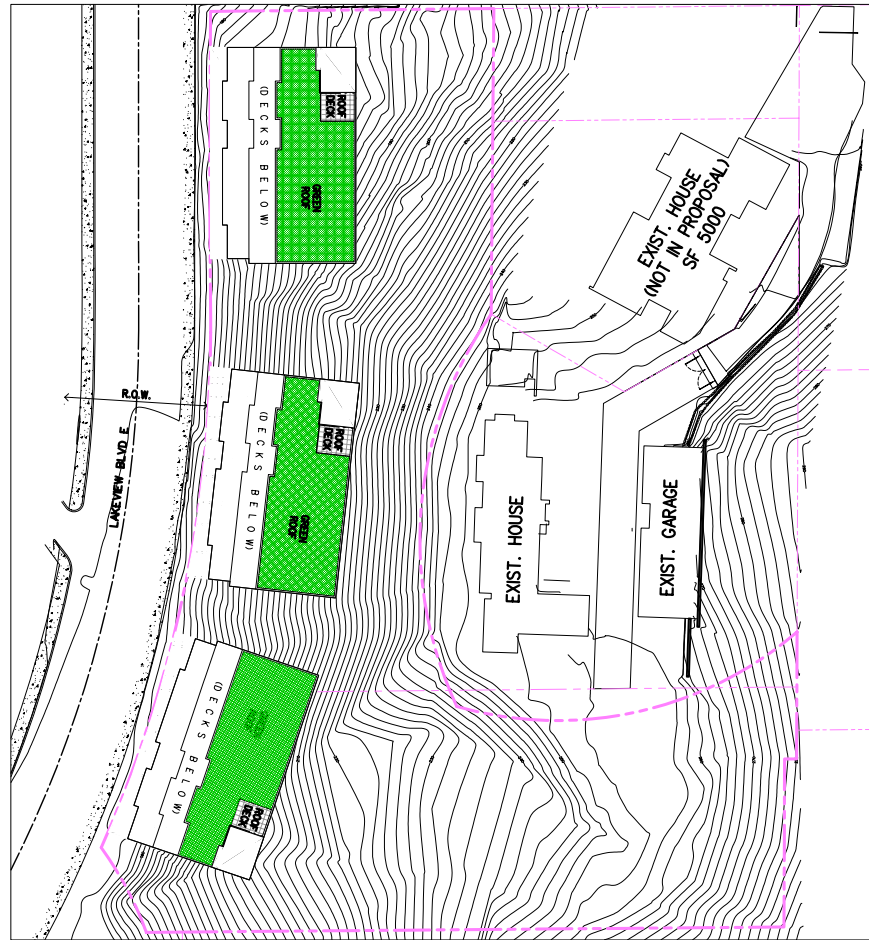
PB ARCHITECTS INC., P.S.  
5506 6TH AVENUE S. SEATTLE, WA 98108

LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

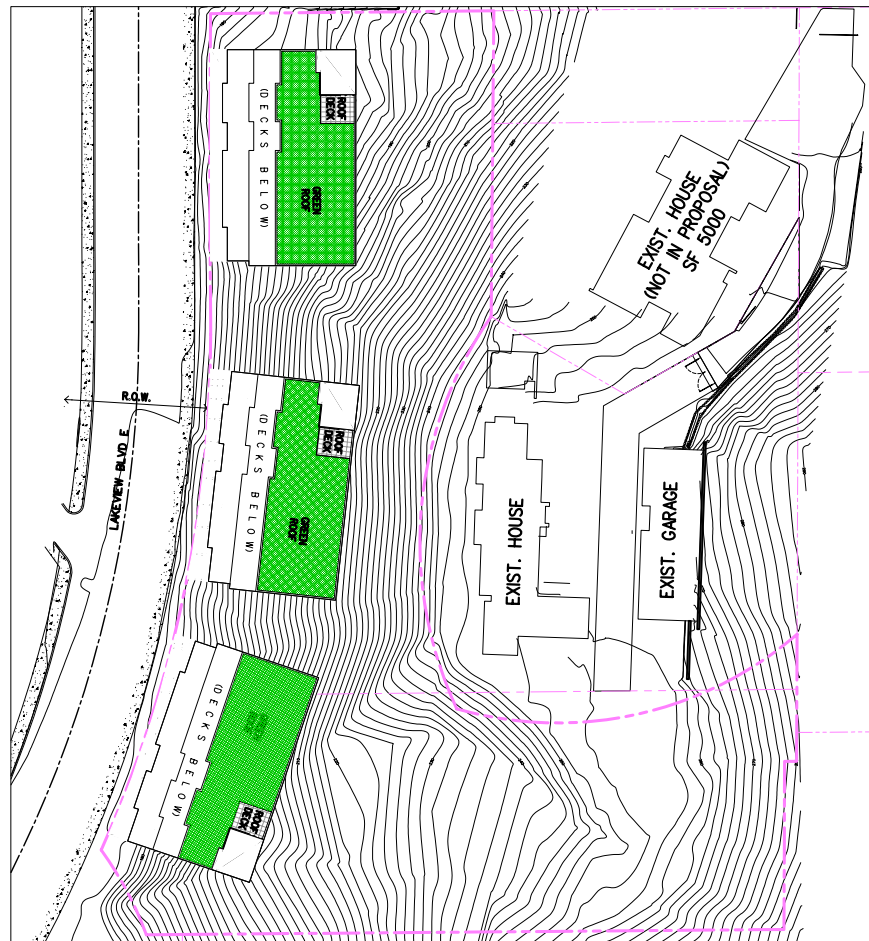
AERIAL MAP - ALT #3  
PREFERRED

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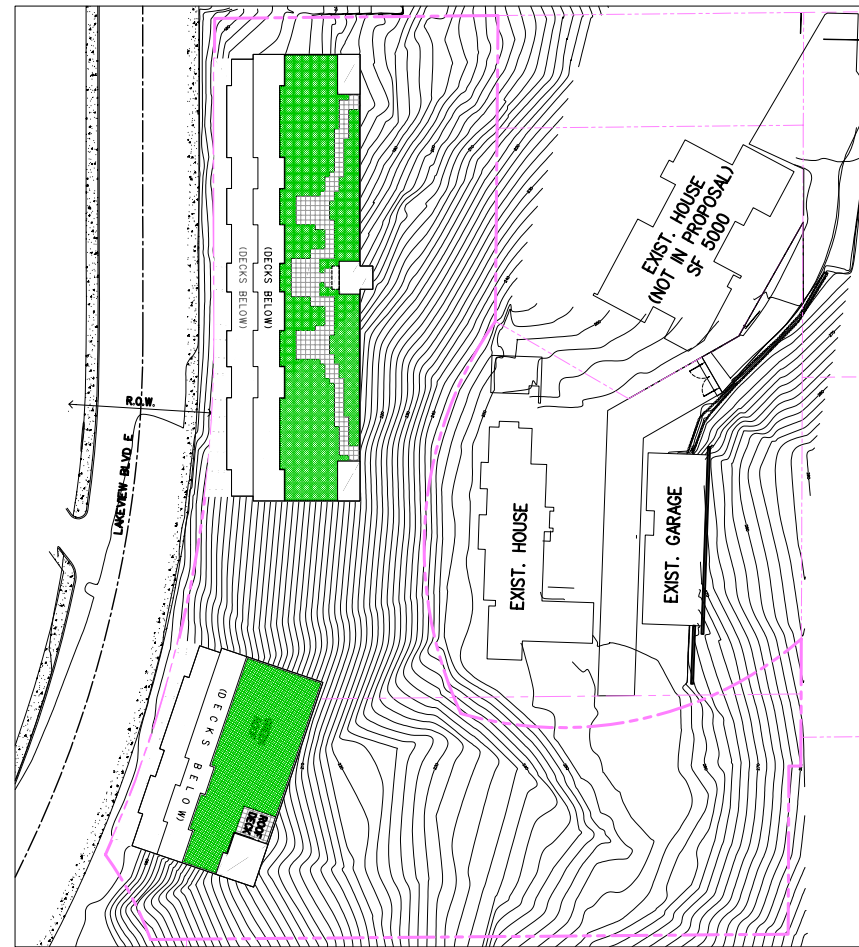
33



Alternate #1  
Same footprint as Alternate #2  
but has more square footage.



Alternate #2



Alternate #3  
Preferred

**SUMMARY OF DESIGN COMPARISON OF THE THREE ALTERNATES**

STATISTICS	Alternate 1	Alternate 2	Alternate 3
Number of dwelling units:	35	35	40
Number of parking stalls:	35	35	40
Number of surface parking stalls:	0	0	0
Number of curb cuts:	3	3	3
Minimum required setbacks from property lines:	Proposed	Proposed	Proposed
Front yard: 5 feet	5 feet	5 feet	5 feet
Side yards: Average 14 feet, min 5 feet	Exceeds	Exceeds	Exceeds
Rear Yards: 15 feet	Exceeds	Exceeds	Exceeds
Gross square footage of buildings:	78,281	77,340	78,920
Site square feet:	57,568	57,568	57,568
Foot print area of buildings:	14,919	14,919	15,252
Lot coverage of buildings:	25.92%	25.92%	26.49%
Allowed F.A.R (MHA at 1.4 x lot area):	80,595	80,595	80,595
Proposed F.A.R.	39,576	38,772	39,673
Required amenity space 25% lot area:	14,392	14,392	14,392
Proposed amenity space:	15,337	16,360	17,258
Total buildings width at Lakeview Blvd. E.	270 feet	270 feet	276 feet
Requested design departure:	No	No	Yes
Code compliant	Yes	Yes	Yes***

\*\*\* Requires design departure for exceeding 90 foot maximum width in an LR-2 zone.

**PROPOSED DESIGN DEPARTURE**

The preferred Alternative #3 requires a design departure: LR-2 zoning requires a maximum width of 90 feet for a building facing the street. Two buildings are proposed for Alternative #3; one does not exceed the 90 foot requirement, the other building does exceed the 90 foot requirement. The building exceeding 90 feet is proposed to be 186 feet in width.

**Rationale for the Design Departure:**

- Minimizes and mitigates landslide potential into right-of-way and on site by having more building width buffering uphill landslides, and removes the potential of landslides occurring within the buildings' footprints. The buildings' uphill walls will be designed to contain slides from above going farther downhill.
- Maximizes number of dwelling units: 40 dwelling units vs 35 in Alternatives #1 and #2.
- Provides more amenity space (private and common) for dwelling units. Amenity space, private and common, are provided within the buildings envelopes. Roof-top decks attached to dwelling units are private and the upper roof of each building are green roofs with areas of common deck use. Amenity space outside of the buildings' envelopes is impractical due to the steep slope.

The immediate surrounding area of the proposed site consists of a variety of building styles, sizes, and heights. The variety of uses include single family and multi-family.

There are two multi-family buildings directly across Lakeview Blvd E from the proposed site that exceed the 90 foot zoning requirement. One of the buildings is LR-1 zoned and a zoning street width restriction of 45 feet, of which the width on Lakeview is 91 feet and the width on Boylston Ave E is 77 feet. The other building is zoned LR-2 with a width restriction of 90 feet of which the width on Lakeview is 182 feet.

The proposed 186 foot building is comparable in width to the two existing buildings that are immediate neighbors. Proposed modulation horizontally and vertically (upper levels are stepped back with the steep slope) will provide similar variety and scale as other LR-2 projects in the immediate neighborhood of Lakeview Blvd E.

SCALE: 1" = 80'



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DESIGN COMPARISON &  
DESIGN DEPARTURE

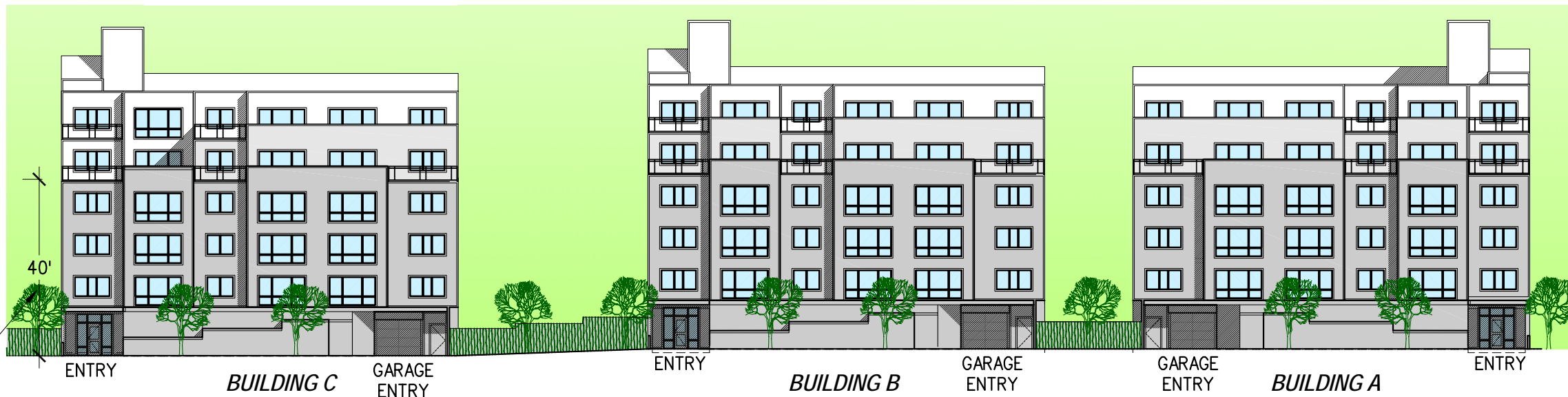
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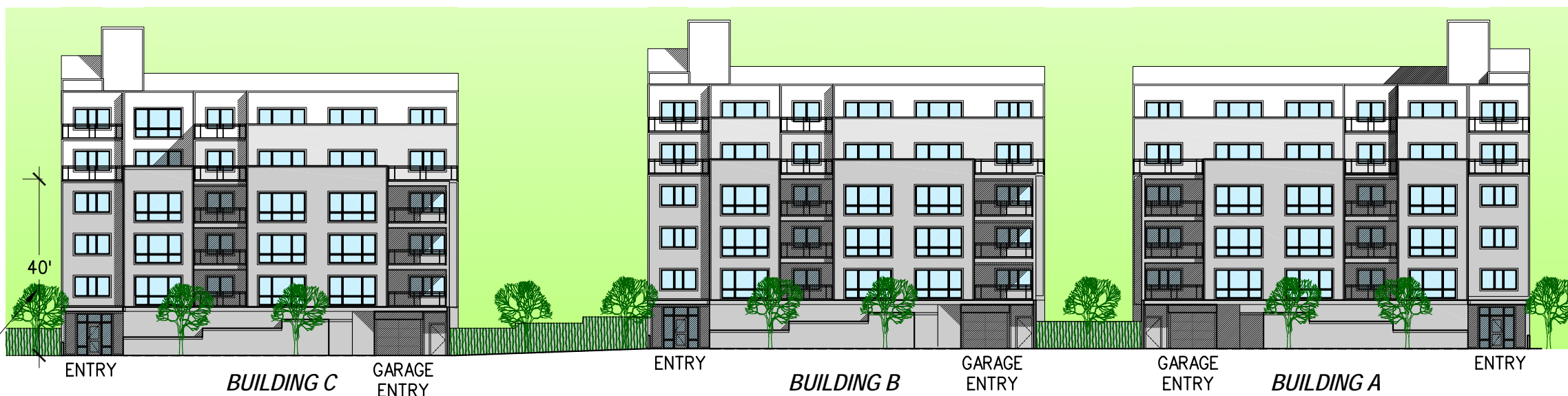
Street Elevations -  
Alternative #1

MAXIMUM HEIGHT @  
STREET PROPERTY LINE



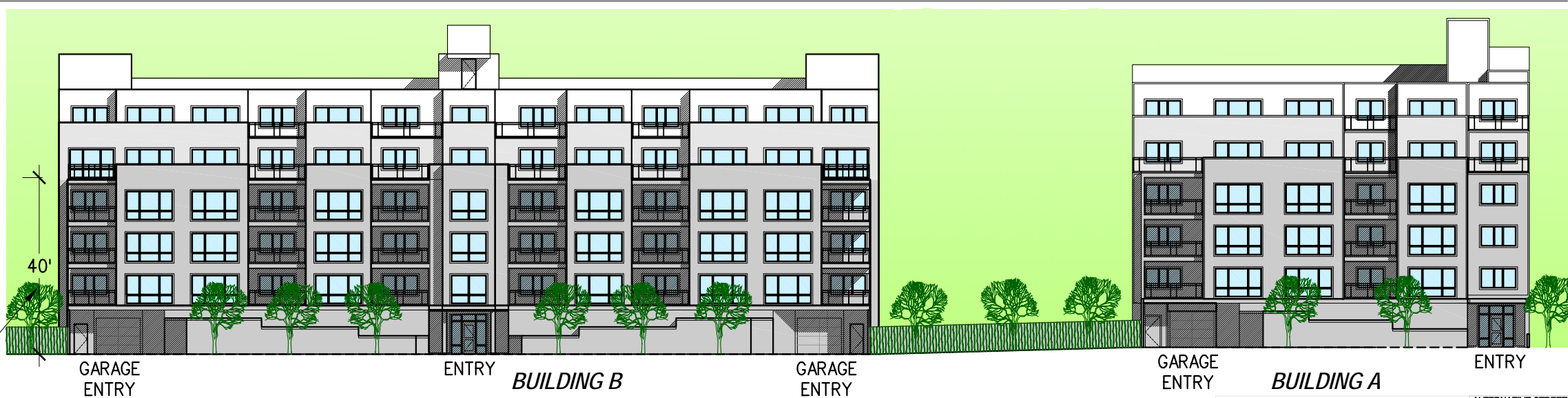
Street Elevations -  
Alternative #2

MAXIMUM HEIGHT @  
STREET PROPERTY LINE



Street Elevations -  
Alternative #3  
Preferred

MAXIMUM HEIGHT @  
STREET PROPERTY LINE



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ALTERNATIVE STREET  
ELEVATION  
COMPARISON

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## ALTERNATIVE COMPARISONS



Alternative #1



Alternative #2



Alternative #3  
Preferred

Proposed alternatives #1, 2, and 3 share the following characteristics:

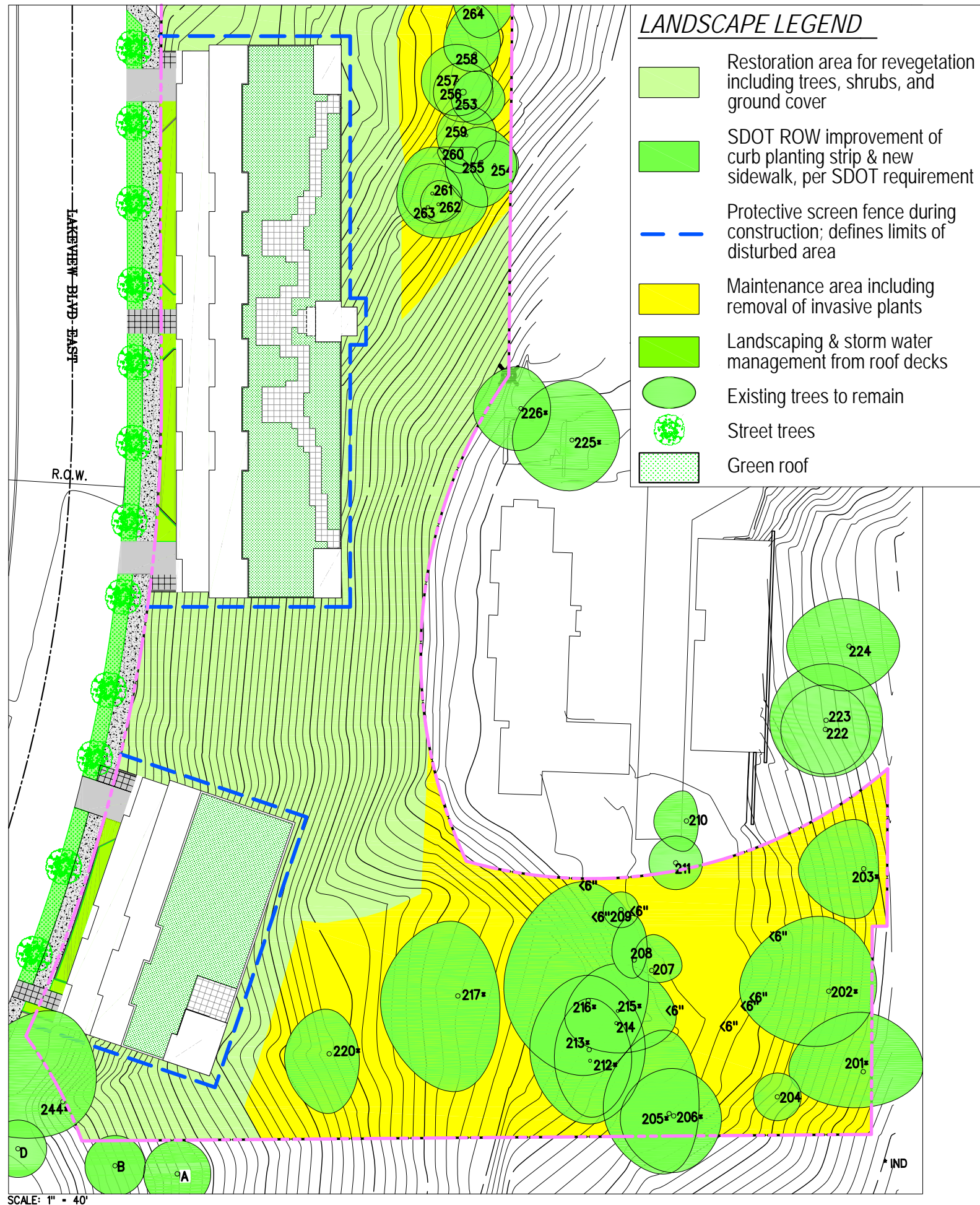
1. Below grade parking garages
2. Enclosed bicycle storage in parking garage
3. Enclosed trash/recycle room in parking garage
4. Recessed main entry, ADA accessible, entry canopy to delineate the pedestrian access.
5. Recessed parking garage doors, 10 feet wide driveways
6. Modulated facades
7. Top two levels stepped back from street façade
8. Green roof and common area deck
9. Green roof/private decks on levels 2, 3, and 4
10. Mitigating future landslide potential:
  - A. Use the buildings as barriers to prevent potential slides from exiting onto the public right-of-way
  - B. Replacement of unhealthy trees with better soil holding characteristics
  - C. Removal of invasive species and replacement with native species and ground stabilization measures

Proposed alternatives #1, 2, and 3 have the following differences:

1. Alternative #1 and 2 are proposed to have 35 dwelling units and 35 parking stalls and Alternative #3 is proposed to have 40 dwelling units and 40 parking stalls.
2. Alternative #1 and 2 are proposed to have 3 buildings and the preferred Alternative #3 is proposed to have two buildings
3. Alternative #1 is different from Alternative #2 by not having private decks on the residential levels 2, 3, and 4. Alternative #1 has larger dwelling units do to not having the private decks
4. Alternative #1 and 2 are Zoning Code compliant and the preferred Alternative #3 requires a Design Departure do to one of the buildings exceeding the zoning code requirement of a 90 foot width at street frontage for LR-2 zoning



# CONCEPTUAL LANDSCAPE PLAN - Alternate #3 Preferred



## LANDSCAPE LEGEND

- Restoration area for revegetation including trees, shrubs, and ground cover
- SDOT ROW improvement of curb planting strip & new sidewalk, per SDOT requirement
- Protective screen fence during construction; defines limits of disturbed area
- Maintenance area including removal of invasive plants
- Landscaping & storm water management from roof decks
- Existing trees to remain
- Street trees
- Green roof

## Summary of Arborist Report:

The Arborist report included trees that are not within the proposed site area. The trees on site were inventoried to meet SMC 25.11 of 6" or greater diameter.

The following represents the trees that are within the proposed site area:

An Arborist report was compiled by Tree Solutions which classified the existing trees as to health and structural condition as follows:

There are no trees classified as "excellent".

12 trees were found in "good health" condition with a majority being upslope and proposed for retention.

6 trees were found to be in "good structural" condition.

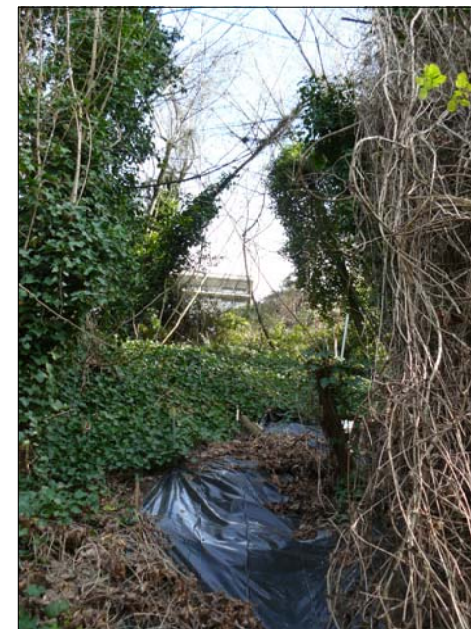
10 trees on site meet "exceptional" tree criteria. 9 are to be retained. The exceptional tree to be removed is a Big Leaf Maple in fair health and structural condition. The tree has been previously topped and has heavy ivy coverage. The tree is also within feet of a "hazard tree" and adjacent trees that are to be removed. The tree's survival seems suspect do to the removal of the adjacent trees.

26 trees are proposed for retention and 57 are proposed for removal.

The Environmentally Critical Area (ECA) code allows 4 types of tree and vegetation work in landslide prone areas, including steep slopes and steep slope buffers. The work allowed is as follows:

1. Normal and routine maintenance
2. Tree and vegetation removal as part of an issued building or grading permit.
3. Tree and vegetation restoration
4. Removal or mitigation of a hazard tree.

The proposed project will include the four types of allowable tree and vegetation work. The project will require a Restoration Plan, SEPA Checklist, and ECA Restoration Plan application.



## Existing Site Conditions

- Showing bent & leaning trees, invasive ivy in the trees and covering the ground, and invasive clematis.
- Recent landslide that entered the street right-of-way.



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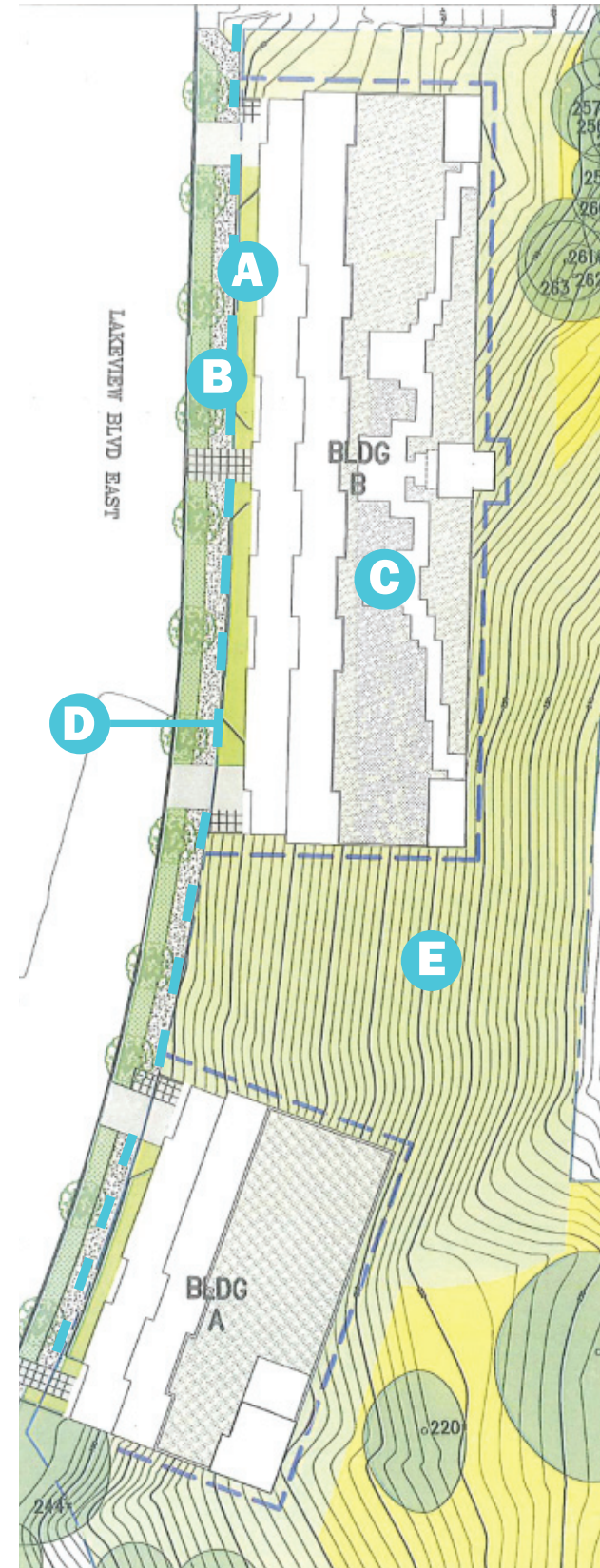
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CONCEPTUAL  
LANDSCAPE PLAN

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# LANDSCAPE CHARACTER



CONCEPTUAL LANDSCAPE PLAN

## A GREEN STORMWATER INFRASTRUCTURE



Diverse seasonal planting



Narrow with native grasses



Raised planter

## B STREETScape



Layered vegetation



Trees & flowering shrubs



Sidewalk lined with trees & a vine wall

## C ROOF TOP



Sedums



Seating areas surrounded by mixed planters



Planters & sedum



Small trees, grasses, & flowering perennials

## D VEGETATED WALLS



Evergreen flowering vine wall



Boston ivy growing on concrete with decorative metal trellis



Vine trellis set off from wall

## E SLOPE PLANTING



Habitat snags with dense & diverse planting



Native wildflower erosion control planting



Biodegradable wattles and native planting



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LANDSCAPE CHARACTER

# SLOPE RESTORATION PROCESS

1

## EXISTING

- Majority big leaf maple & locust
- Invasive species (English ivy, oriental clematis, blackberry)
- Landslides

3

## SOIL IMPROVEMENTS

- Install geotextile erosion control fabric
- Blow 4" of compost & 4" of wood chip mulch
- Stake biodegradable wattles
- Utilize mulch from removed trees

2

## PROTECTION & REMOVAL

- Protect existing trees & vegetation to remain
- Remove invasive vegetation and root systems from top 8" of soil
- Remove trees (leave tree stumps & roots)
- Leave snags for wildlife habitat

4

## PLANTING

- Plant densely and diversely for resiliency
- Hydro-seed with native wildflower erosion control seed mix
- Fast growing perennials, shrubs, & trees

5

## MATURED URBAN FOREST ECOSYSTEM

Our strategy for slope restoration is to remove invasive vegetation and hazardous trees, reinforce the shallow soil layers of the slope in the short term with strategic soil improvements and proven erosion control methods, and utilize a diverse native planting palette focusing on quick spreading shallow roots, deep stabilizing tap roots, low maintenance, drought tolerant, and species that promote bird and wildlife habitat.



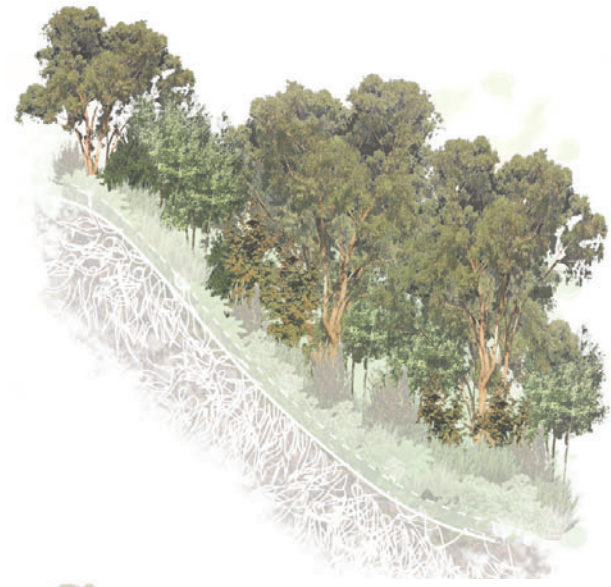
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SLOPE  
RESTORATION  
PROCESS

# SLOPE RESTORATION PLANTING PALETTE

## TREES



SHORE PINE  
*Pinus contorta*



MADRONA  
*Arbutus menziesii*



SITKA ALDER  
*Alnus viridis*



VINE MAPLE  
*Acer circinatum*



SERVICEBERRY  
*Amelanchier alnifolia*



HAZELNUT  
*Corylus cornuta*



CASCARA  
*Rhamnus Purshiana*

## SHRUBS



RED TWIG DOGWOOD  
*Cornus sericea*



PACIFC MOCK ORANGE  
*Delphinium menziesii*



INDIAN PLUM  
*Oemleria cerasiformis*



THIMBLEBERRY  
*Rubus parviflorus*



REDFLOWER CURRENT  
*Ribes sanguineum*



SNOWBERRY  
*Symphoricarpos albus*



PACIFIC NINEBARK  
*Physocarpus capitatus*

## GROUND COVERS AND PERENNIALS



LOW OREGON GRAPE  
*Mahonia nervosa*



SALAL  
*Gaultheria shallon*



SWORD FERN  
*Polystichum munitum*



BLUE LUPINE  
*Lupinus rivularis*



WOOD STRAWBERRY  
*Fragaria vesca*



SLOUGH SEDGE  
*Carex odnupta*



Wildflower erosion control mix



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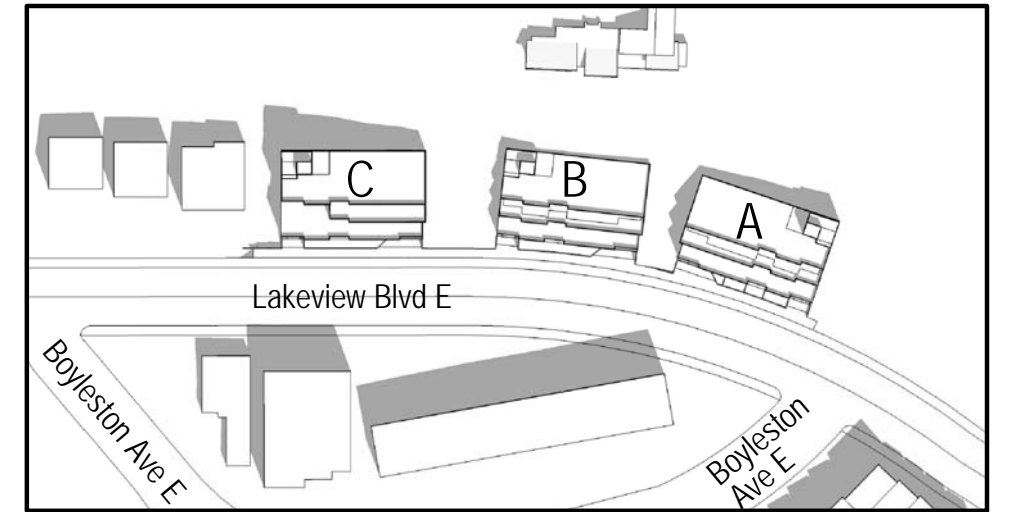
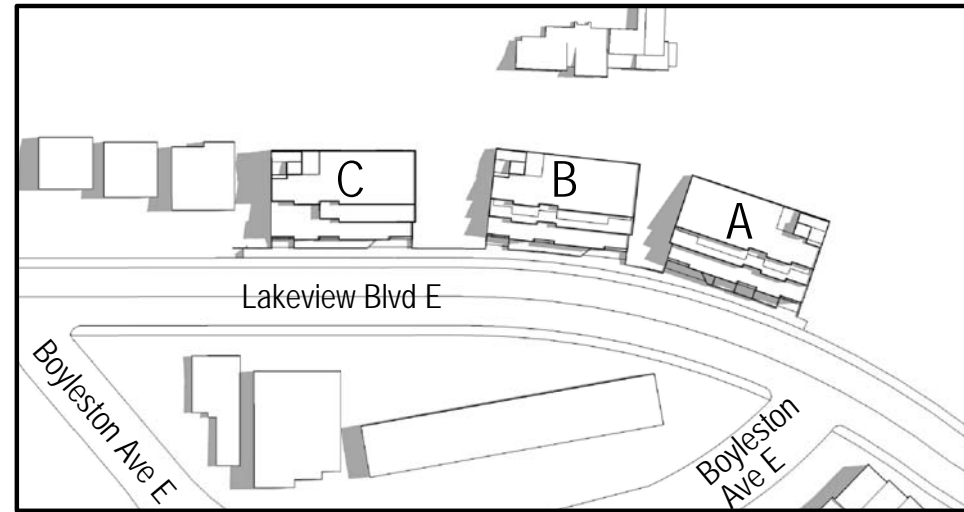
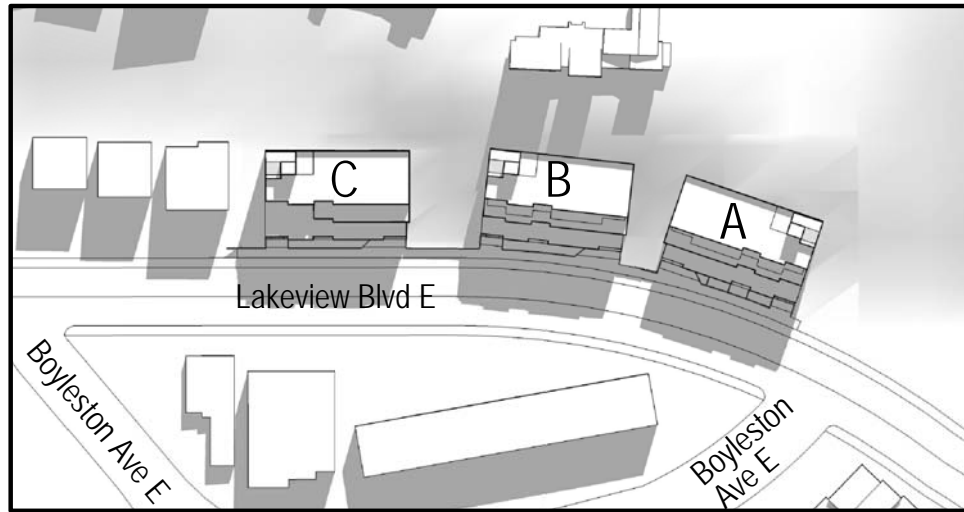
SLOPE RESTORATION PROCESS PALETTE

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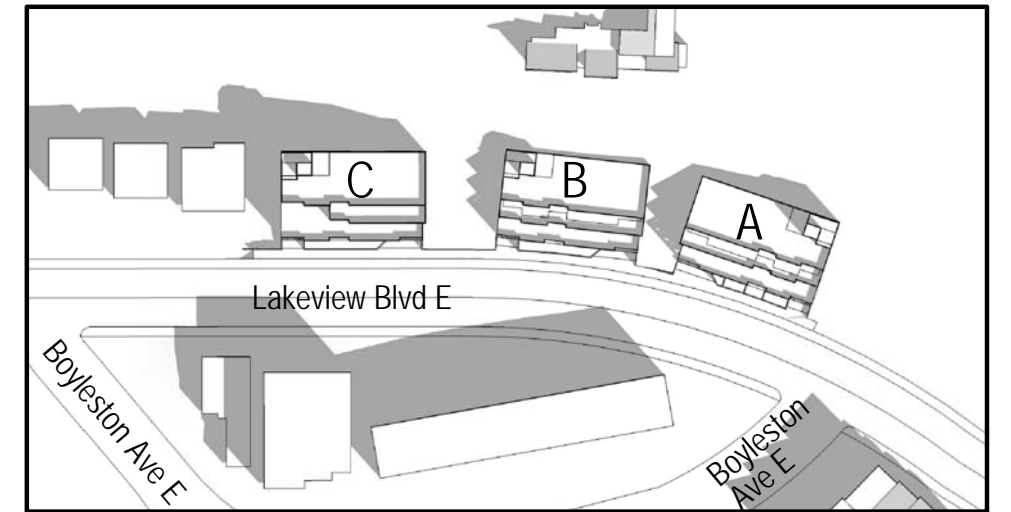
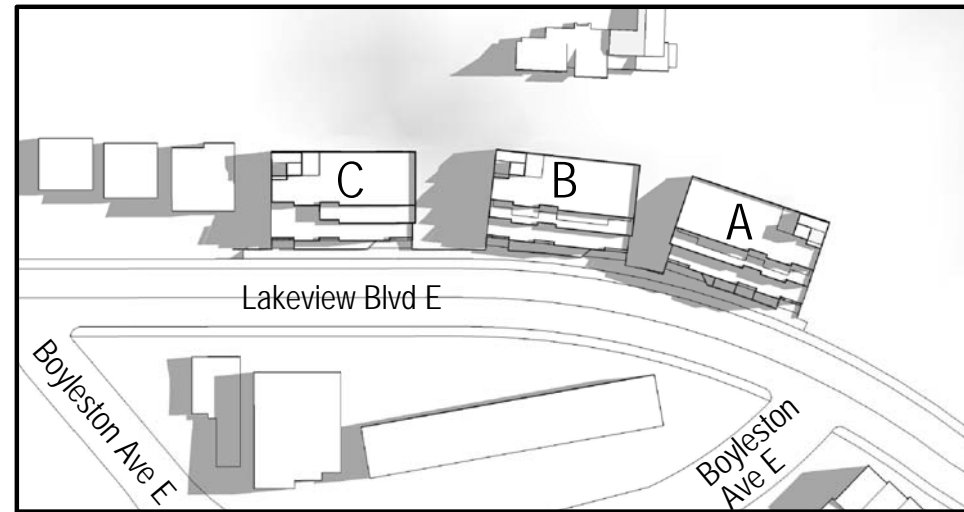
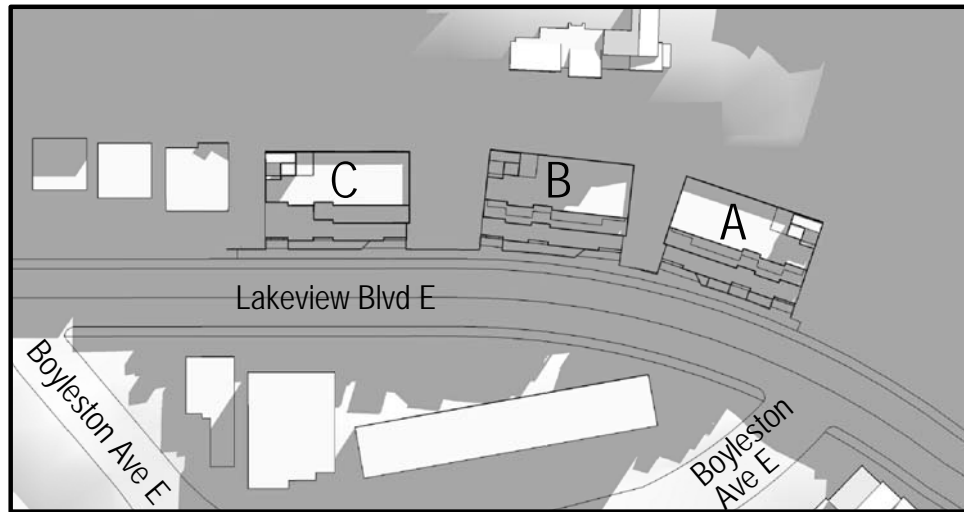
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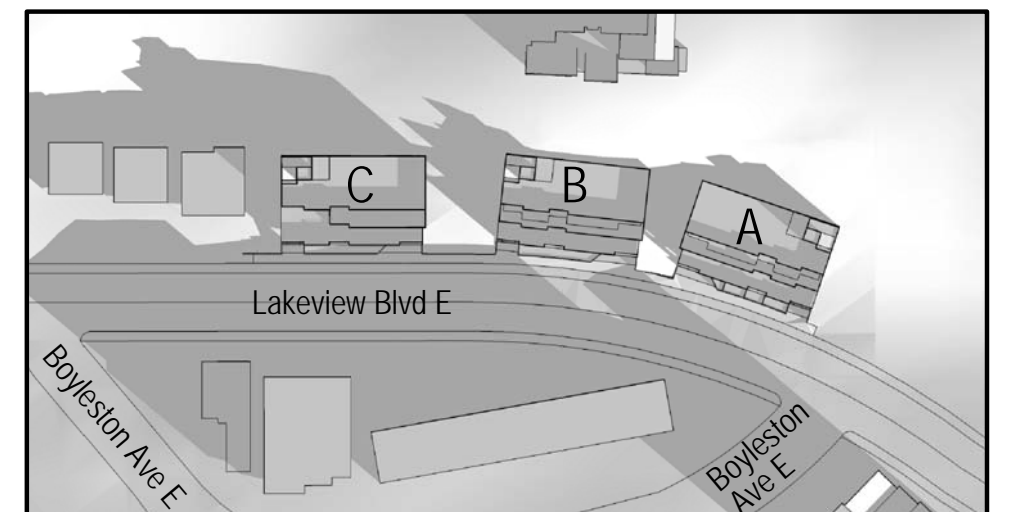
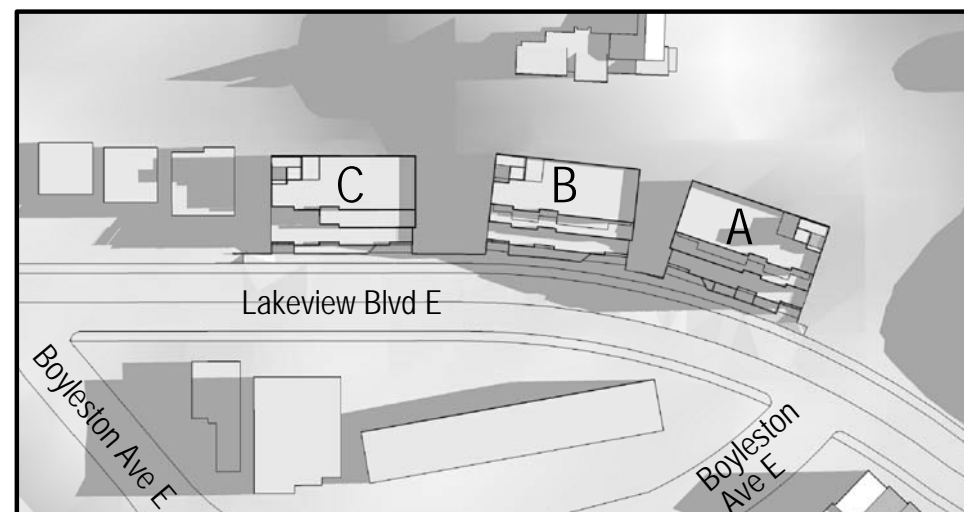
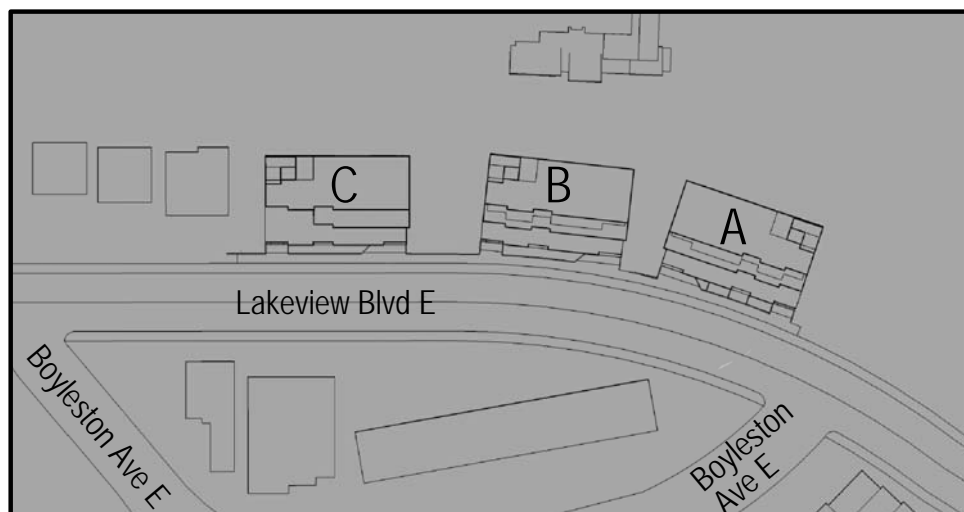
JUNE



MARCH / SEPTEMBER



DECEMBER



NOTE: A, B, & C INDICATE PROPOSED BUILDINGS



LAKEVIEW  
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SHADOW STUDIES, ALTS #1 & #2

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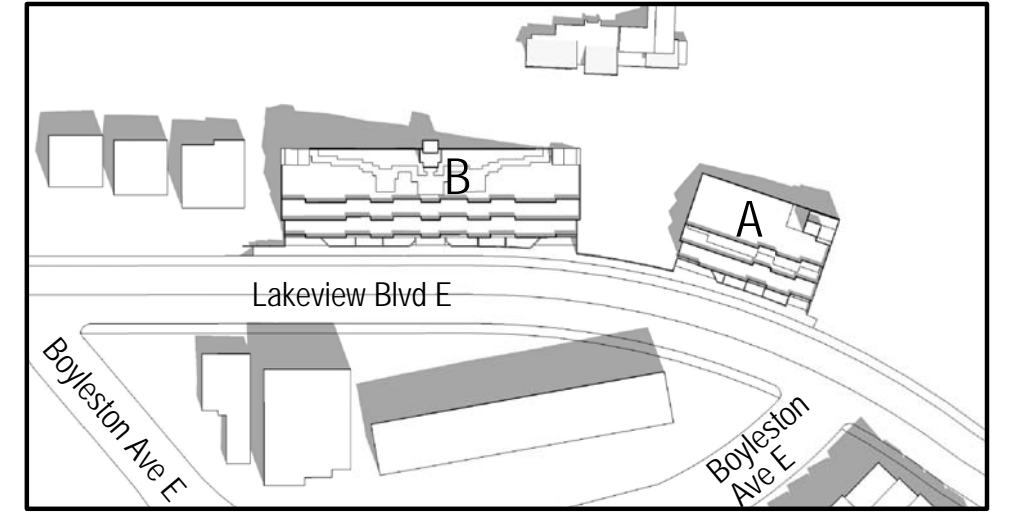
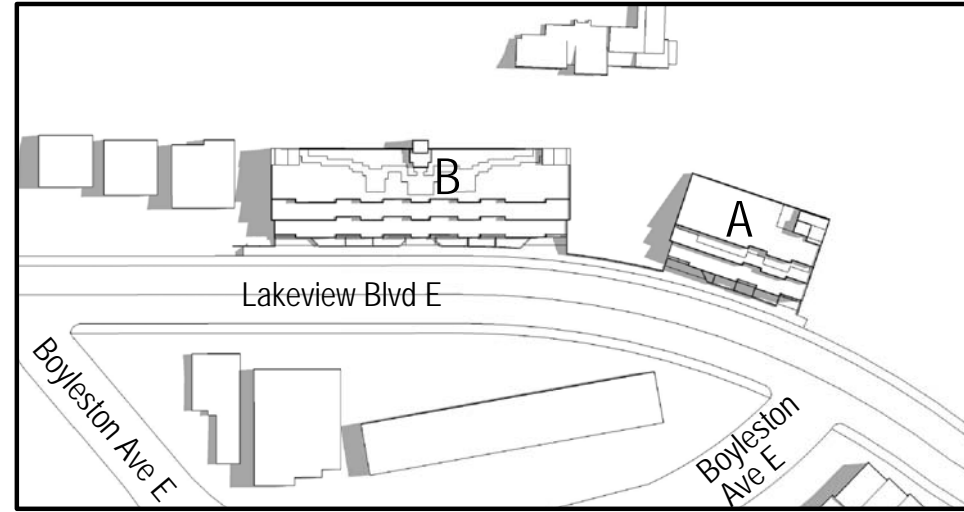
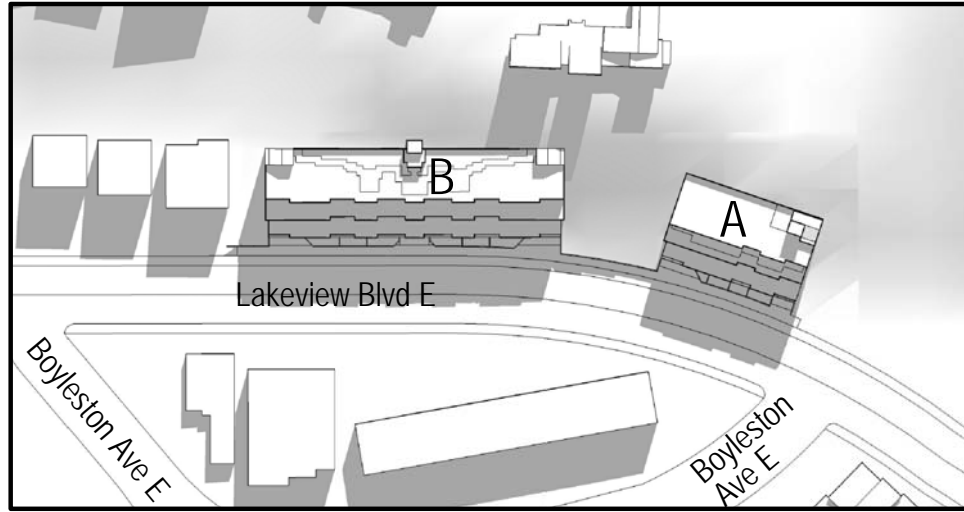
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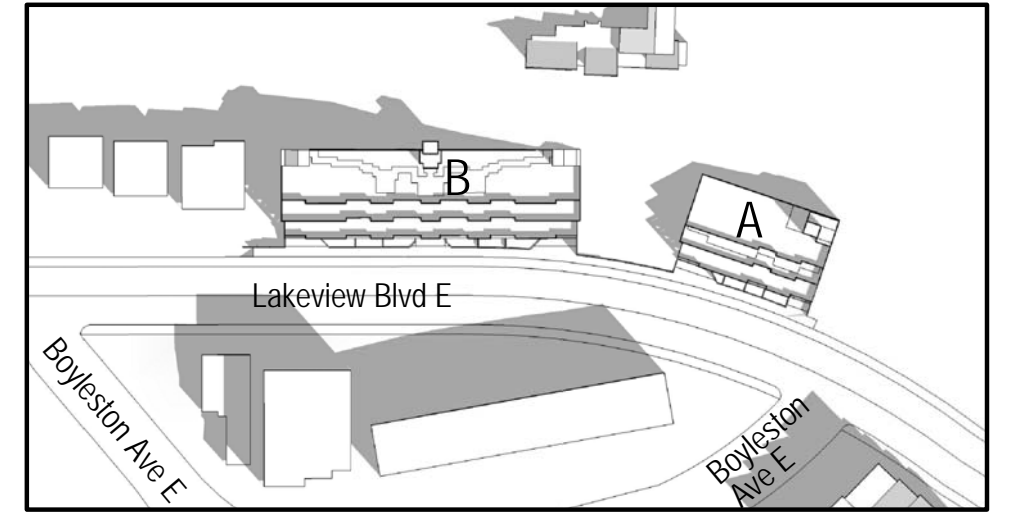
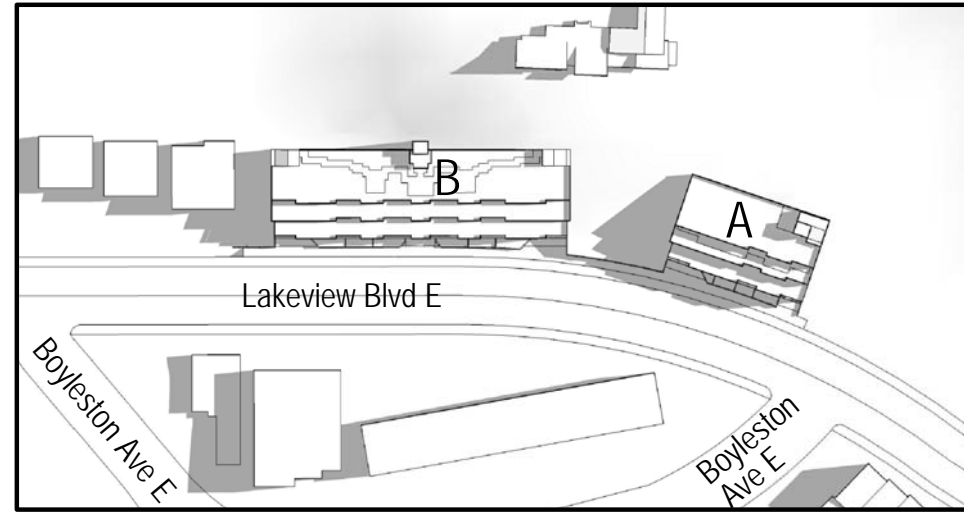
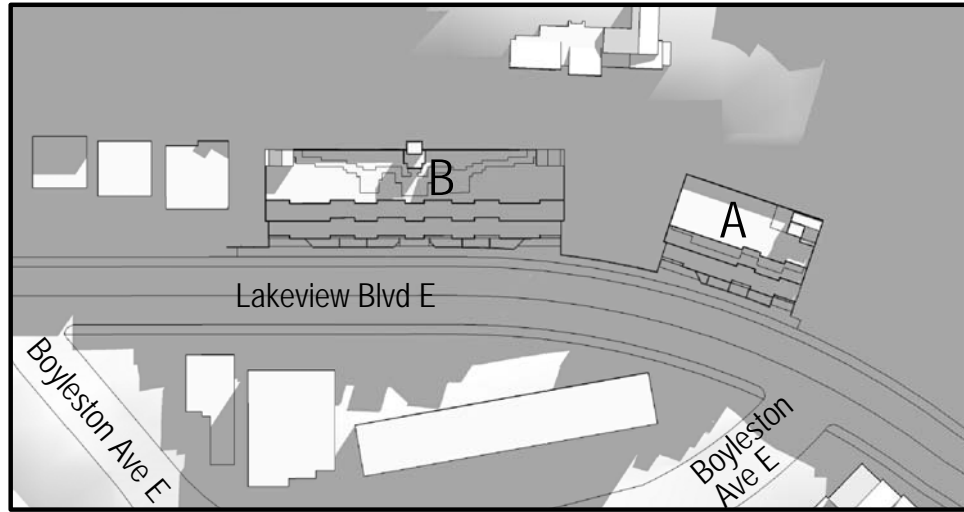
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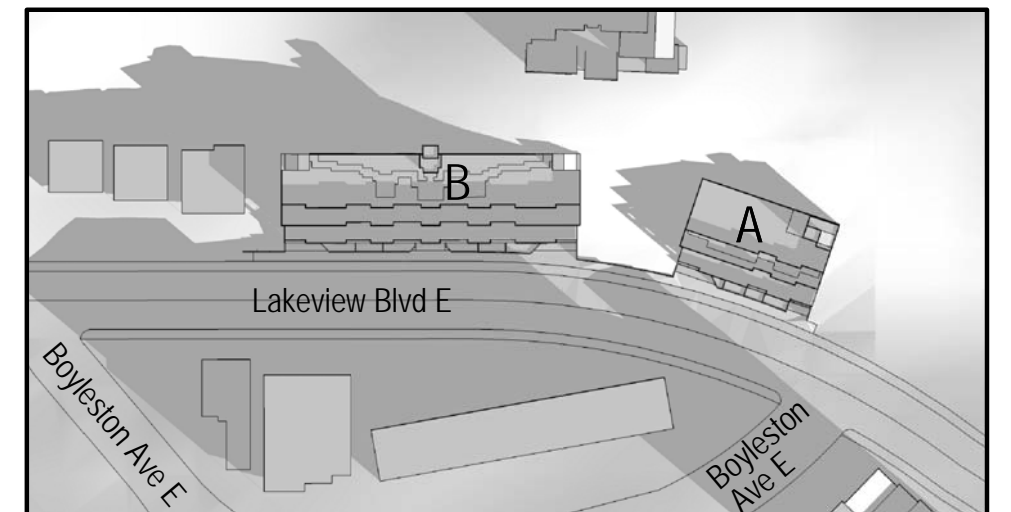
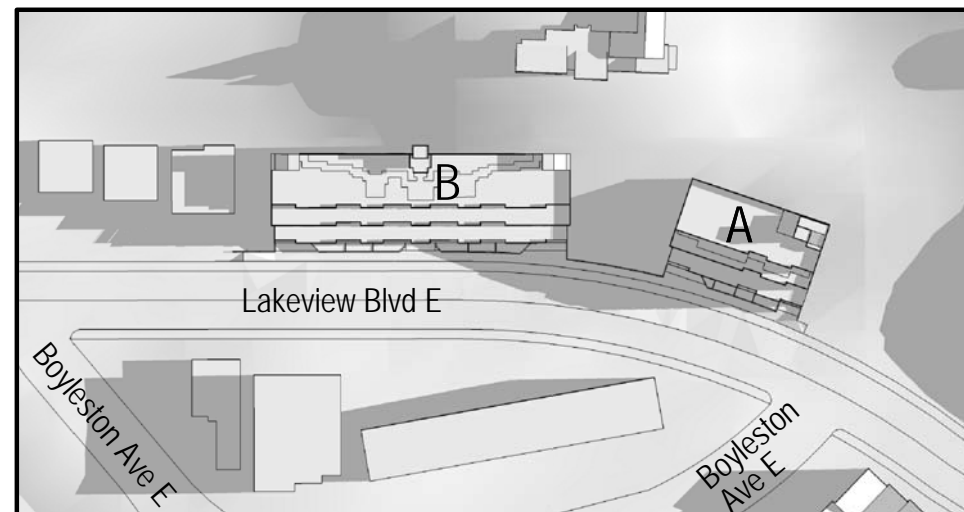
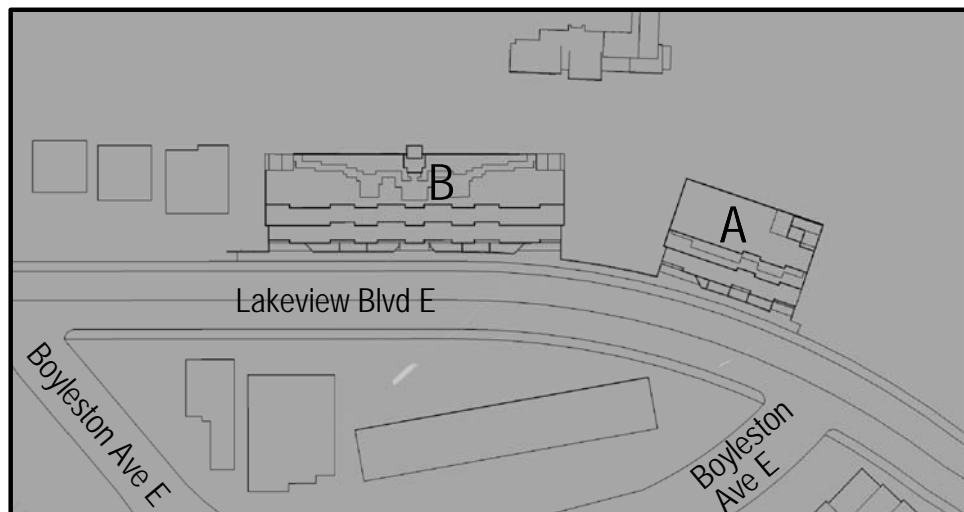
JUNE



MARCH / SEPTEMBER



DECEMBER



NOTE: A & B INDICATE PROPOSED BUILDINGS



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SHADOW STUDIES, ALT #3 PREFERRED

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Seattle Department of Transportation (SDOT) representatives at the Preliminary Assessment Review indicated SDOT would require 5.5 feet of landscape border at the street curb and a 6 foot sidewalk adjacent to the property line. SDOT's requirement would result in retaining walls between the proposed buildings

The existing sidewalk is adjacent to the curb and existing vegetation and trees are between the sidewalk and property line. The existing sidewalk and

landscape border configuration occurs both north and south along both sides of Lakeview Blvd. E. Existing retaining walls occur on both sides of Lakeview Blvd. E. and appear to be in the right of way adjacent to the curb side sidewalk and without a landscape border.

We propose that there are three possible configurations for the design of the sidewalk as follows:



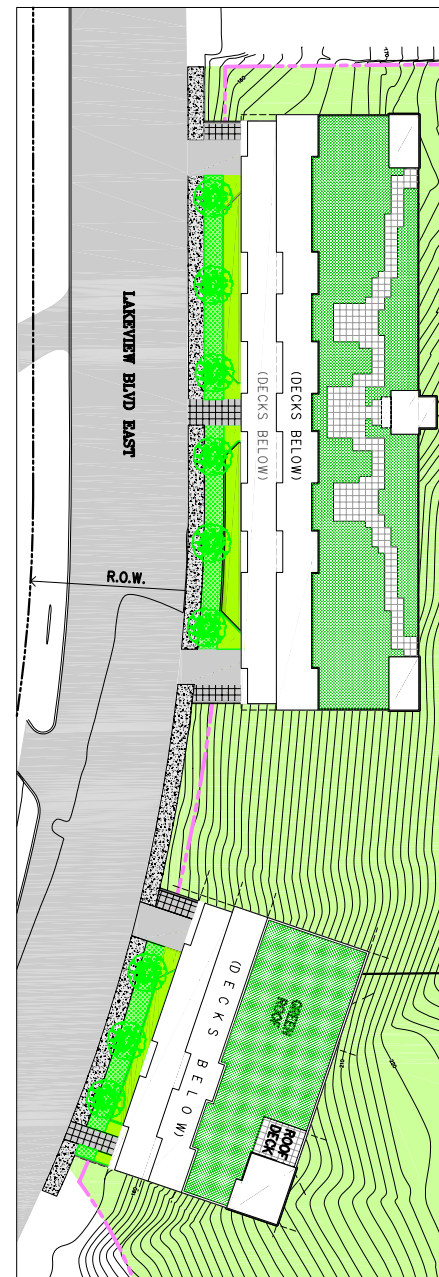
1. Provide the location of the landscape border and sidewalk per SDOT indicated requirements.

**Pros:** Landscape border and street trees adjacent to a street curb provides a better visual for the street scene than one where the sidewalk is adjacent to the curb and allows street trees to grow a larger umbrella away from buildings.

**Cons:** SDOT's configuration would not match the existing sidewalk locations north and south and both sides of Lakeview Blvd. E.

The sidewalk would be immediately adjacent to the raised planting areas in front of the buildings which are screening the garages and will be of varying heights up to 6 feet tall. The sidewalk location would also create retaining walls between buildings that would be up to 6 feet tall and taller.

1 SDOT REQUIREMENT FOR LANDSCAPE BORDER & SIDEWALK LOCATION



2. Maintain the existing sidewalk and landscape border in its existing configuration.

**Pros:** The existing sidewalk location allows curb side parking which appears to occur on a regular basis, especially for cars that are parked and then drivers/passengers walk to the nearest bus stop. Curb side sidewalk allows drivers and passengers exiting their cars not to be passing through and damaging the landscaping border that SDOT requires. A landscape border adjacent to the property line would be visually more attractive to screen and help soften the impact of raised planting areas and minimizing the need for retaining walls between buildings. The existing slope could be maintained through the right of way to the existing sidewalk and therefore minimizes the need for retaining walls between buildings

**Cons:** The sidewalk adjacent to the street curb is not as visually appealing as a landscaping border. Street trees would not have as much room for developing a full umbrella between trunk and face of proposed buildings.

2 EXISTING LOCATION OF SIDEWALK & LANDSCAPE BORDER



3. Partially maintain the existing sidewalk and landscape border in its existing location and partially locate new sidewalk adjacent to property line and landscape border adjacent to street curb.

**Pros:** A partial landscape border and street trees adjacent to a street curb provides a better visual for the street scene than one where the sidewalk is adjacent to the curb.

Provides curb side parking, which appears to occur on a regular basis, especially for cars that are parked and then walk to the nearest bus stop. Curb side sidewalk allows drivers and passengers not to be passing through and damaging the landscaping border that SDOT requires. A landscape border adjacent to the property line would be visually more attractive to screen and help soften the impact of raised planting areas and minimizing the need for retaining walls between buildings. The existing slope could be maintained through the right of way to the existing sidewalk and therefore minimizes the need for retaining walls between buildings

Landscape border and street trees adjacent to a street curb provides a better visual for the street scene than one where the sidewalk is adjacent to the curb.

**Cons:** The sidewalk adjacent to the street curb is not as visually appealing as a landscaping border and would not have as much room for street trees to grow a larger umbrella.

3 COMBINATION OF SDOT SIDEWALK LOCATION & EXISTING SIDEWALK

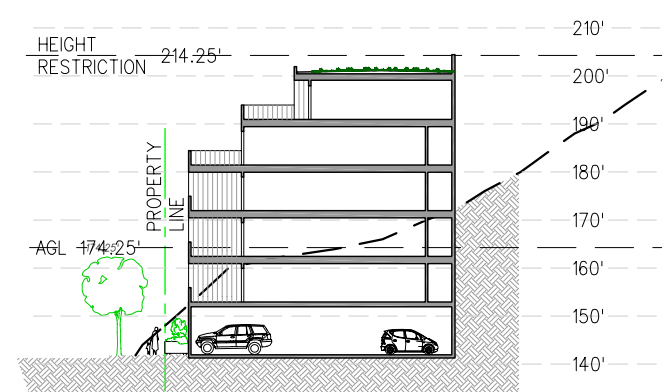
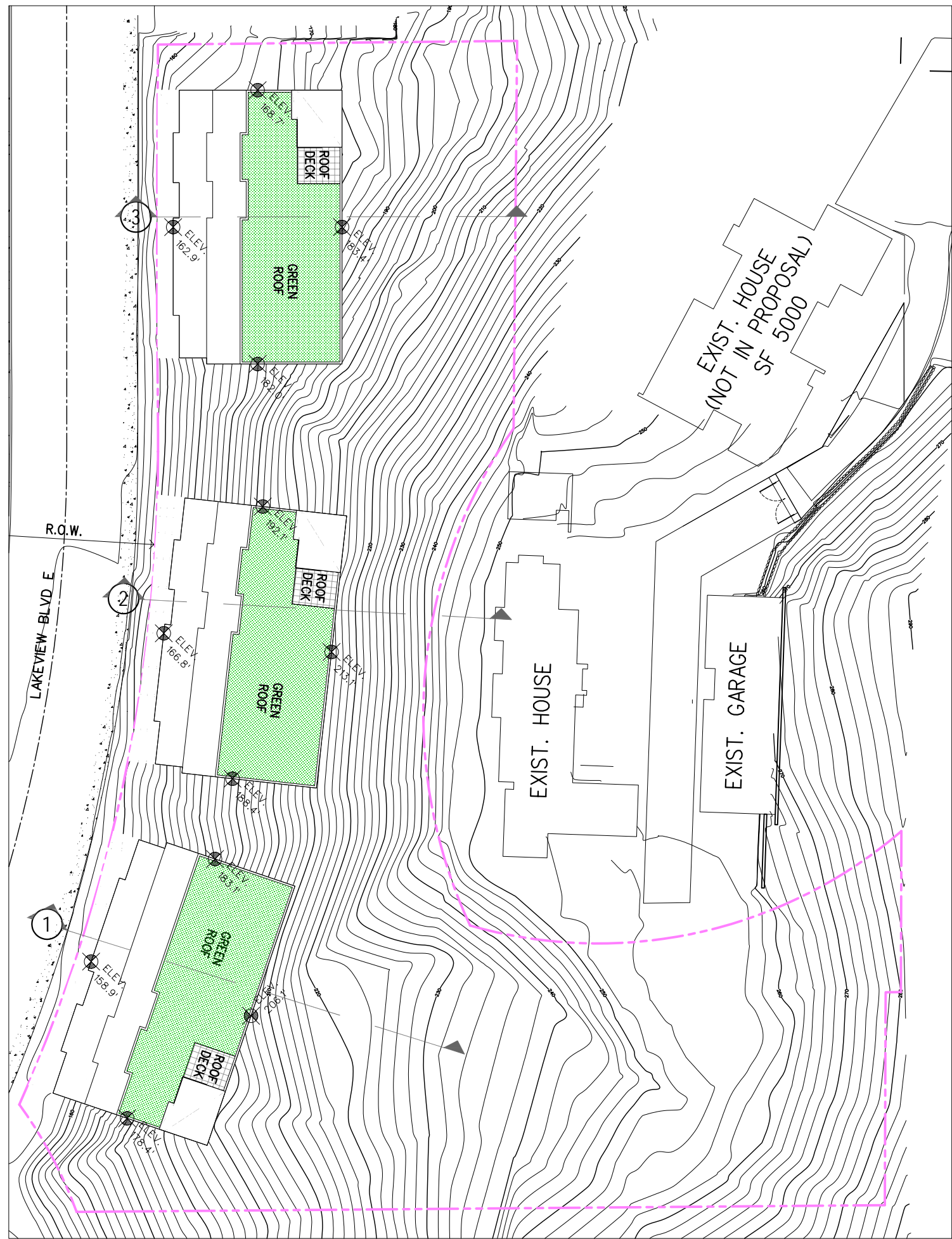


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SIDEWALK PLAN  
19 OCT 2019  
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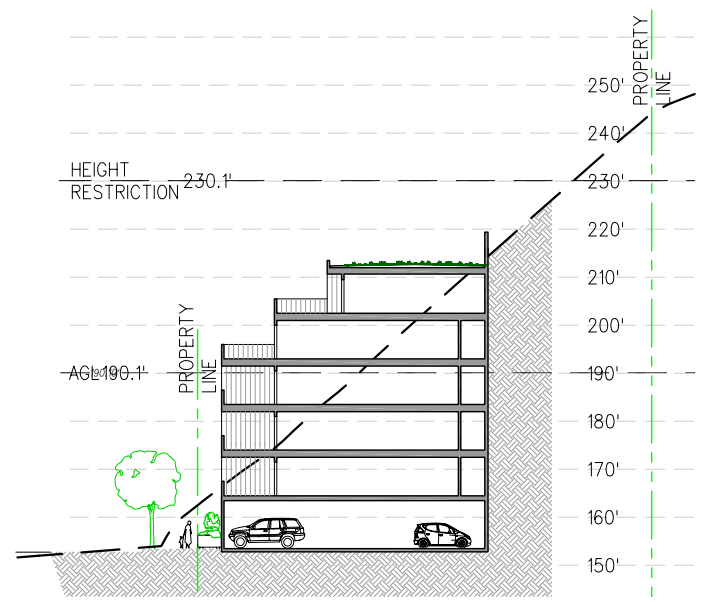
# AVERAGE GRADE CALCULATIONS



SECTION 3

## BUILDING C

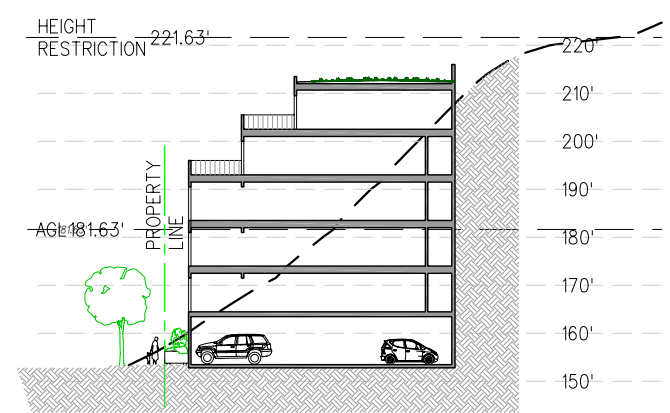
POINT	ELEV
NORTH	168.7'
EAST	183.4'
WEST	162.9'
SOUTH	182.0'
<b>AVERAGE =</b>	<b>174.25'</b>



SECTION 2

## BUILDING B

POINT	ELEV
NORTH	192.1'
EAST	213.1'
WEST	166.8'
SOUTH	188.4'
<b>AVERAGE =</b>	<b>190.1'</b>



SECTION 1

## BUILDING A

POINT	ELEV
NORTH	183.1'
EAST	206.1'
WEST	158.9'
SOUTH	178.4'
<b>AVERAGE =</b>	<b>181.63'</b>

SCALE: 1" = 40'



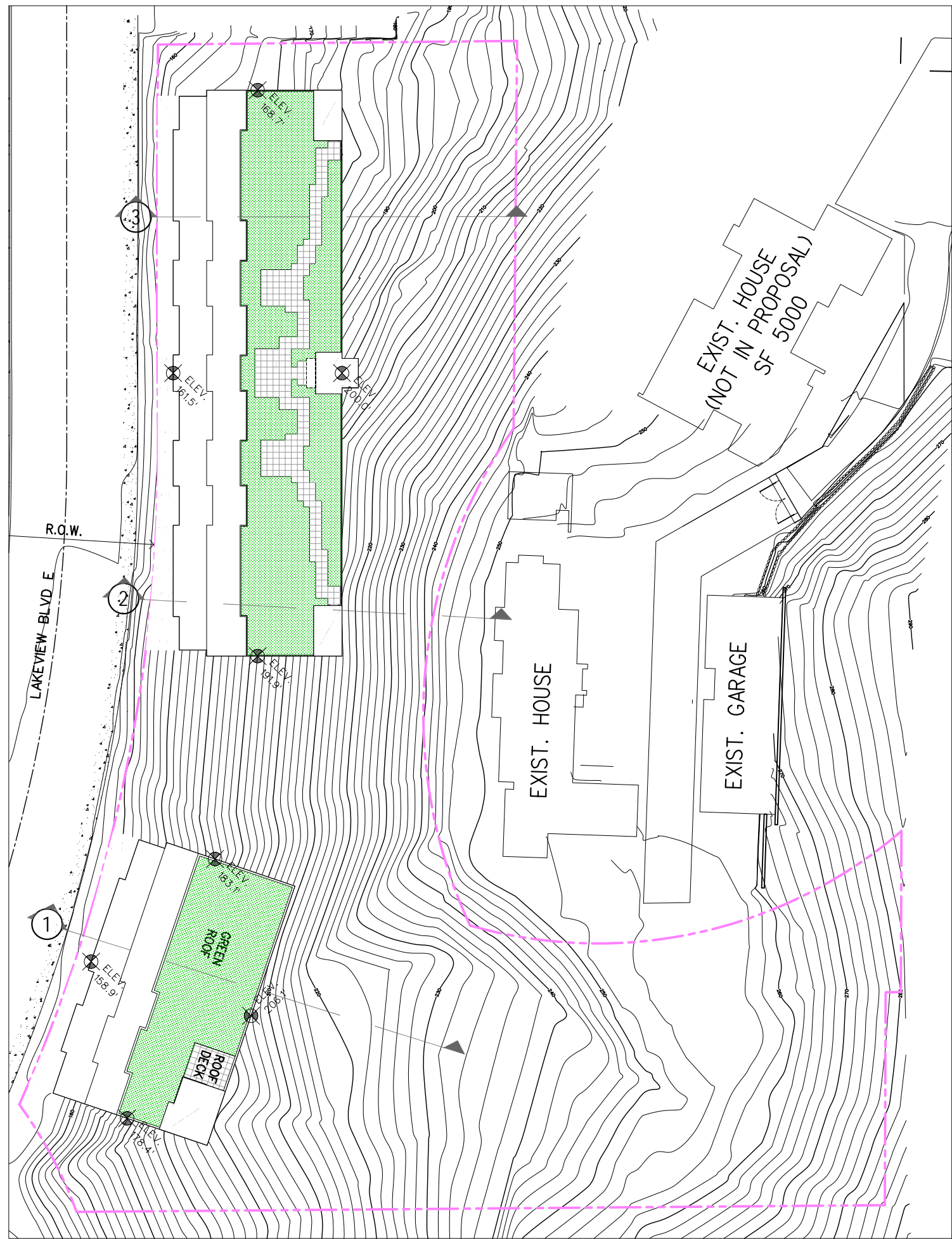
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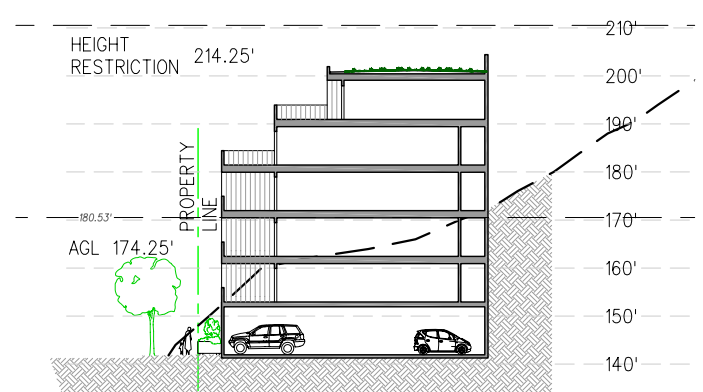
SITE PLAN & AVERAGE GRADE, ALTS #1 & #2

19 OCT 2019

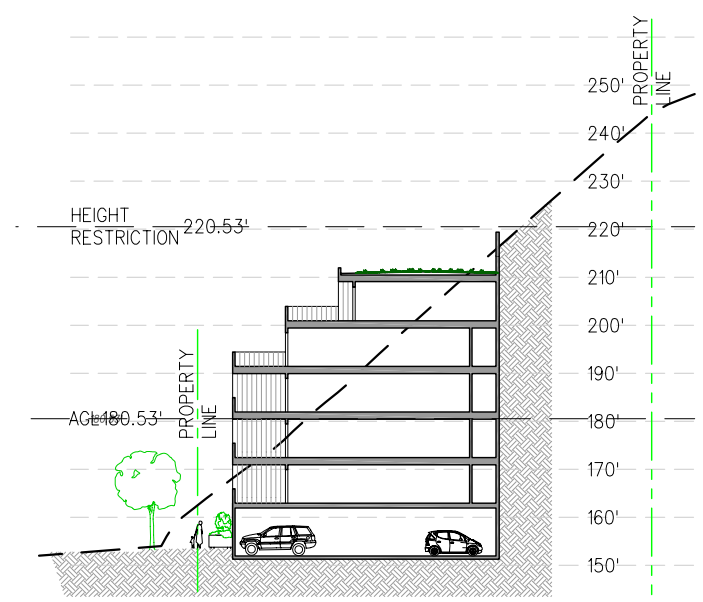
# AVERAGE GRADE CALCULATIONS



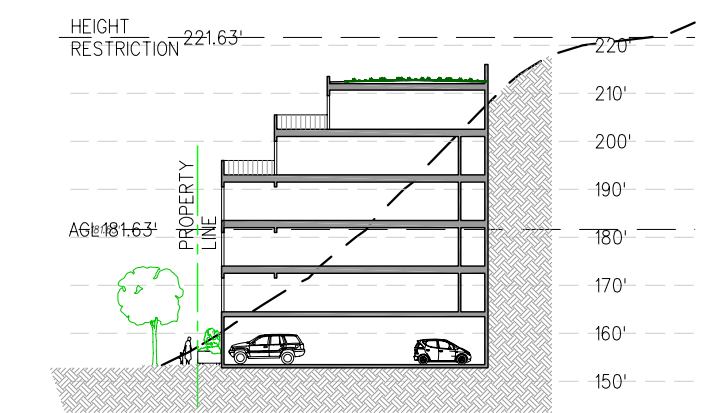
SCALE: 1" = 40'



SECTION 3



SECTION 2



SECTION 1

## BUILDING B

POINT	ELEV
NORTH	168.7'
EAST	200.0'
WEST	161.5'
SOUTH	191.9'
<b>AVERAGE =</b>	<b>180.53'</b>

## BUILDING A

POINT	ELEV
NORTH	183.1'
EAST	206.1'
WEST	158.9'
SOUTH	178.4'
<b>AVERAGE =</b>	<b>181.63'</b>



PB ARCHITECTS INC., P.S.  
5506 6TH AVENUE S. SEATTLE, WA 98108

LAKEVIEW  
1500 BROADWAY EAST  
SEATTLE, WA 98102

SITE PLAN & AVERAGE  
GRADE, ALT #3  
PREFERRED

19 OCT 2019

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**ALTERNATE #1**

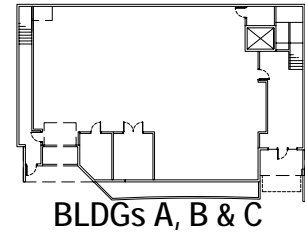
**ALTERNATE #2**

**ALTERNATE #3 Preferred**  
(Bldg A same as Alt #2)

ZONING CODE - AMENITY SPACE

- 25% of lot area is required for amenity space  
Lot area = 57,742 sq. ft. x 25% = 14,436 sq. ft.
- Common space to consist of landscaping and patios with deck furniture, per zoning code.

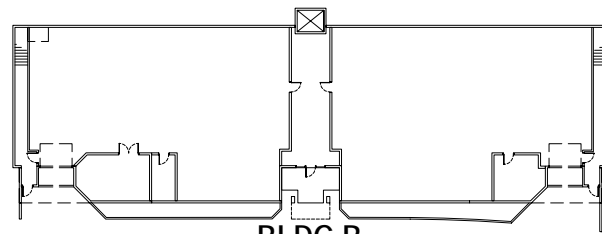
LEVEL P1



BLDGs A, B & C

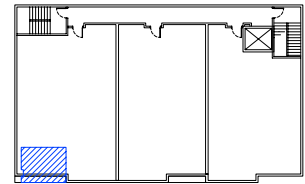
SAME AS ALT #1

LEVEL P1



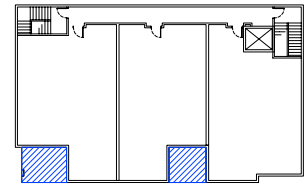
BLDG B

LEVEL 1



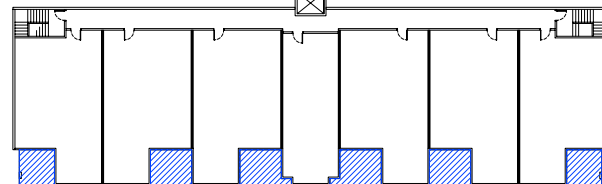
BLDGs A, B & C

LEVEL 1



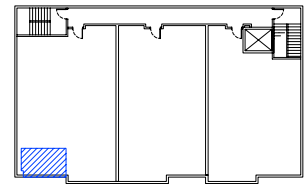
BLDGs A, B & C

LEVEL 1



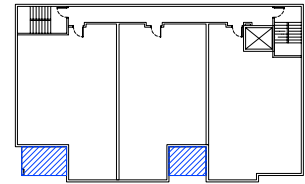
BLDG B

LEVELS 2,3



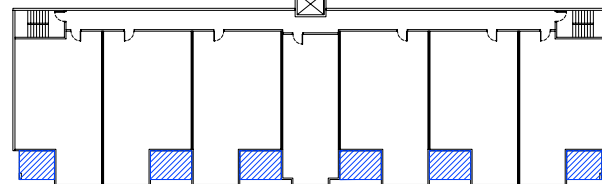
BLDGs A, B & C

LEVELS 2,3



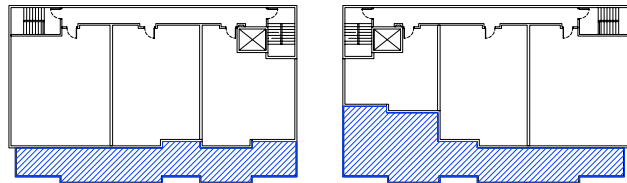
BLDGs A, B & C

LEVELS 2,3



BLDG B

LEVEL 4

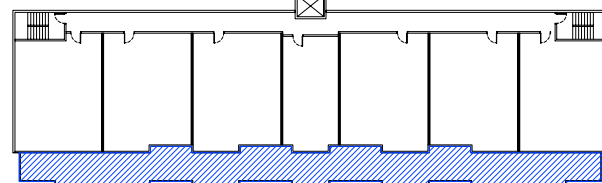


BLDGs A & B

BLDG C

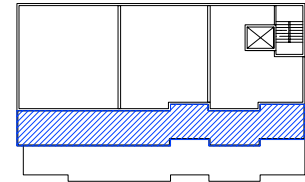
SAME AS ALT #1

LEVEL 4



BLDG B

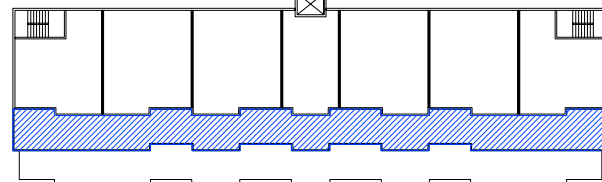
LEVEL 5



BLDGs A, B & C

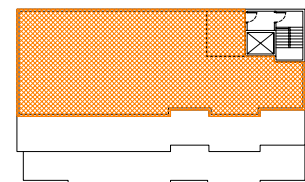
SAME AS ALT #1

LEVEL 5



BLDG B

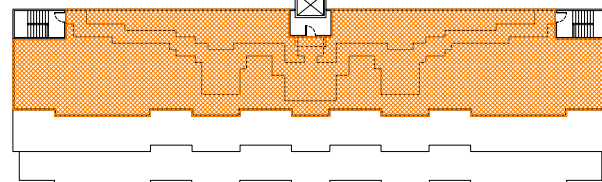
ROOF



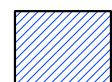
BLDGs A, B & C

SAME AS ALT #1

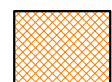
ROOF



BLDG B



PRIVATE



COMMON

ALTERNATE #1			
Level	Bldg A	Bldg B	Bldg C
Garage	0	0	0
First	153	153	153
Second	125	125	125
Third	125	125	125
Fourth	940	940	1,268
Fifth	990	990	990
Roof	2,670	2,670	2,670
Total/Bldg	5,003	5,003	5,331
Total/Project	15,337 (exceeds minimum requirements)		

ALTERNATE #2			
Level	Bldg A	Bldg B	Bldg C
Garage	0	0	0
First	282	282	282
Second	231	231	231
Third	231	231	231
Fourth	940	940	1,268
Fifth	990	990	990
Roof	2,670	2,670	2,670
Total/Bldg	5,344	5,344	5,672
Total/Project	16,360 (exceeds minimum requirements)		

ALTERNATE #3		
Level	Bldg A	Bldg B
Garage	0	0
First	282	824
Second	231	664
Third	231	664
Fourth	940	1,958
Fifth	990	2,098
Roof	2,670	5,632
Total/Bldg	5,344	11,840
Total/Project	17,184 (exceeds minimum requirements)	

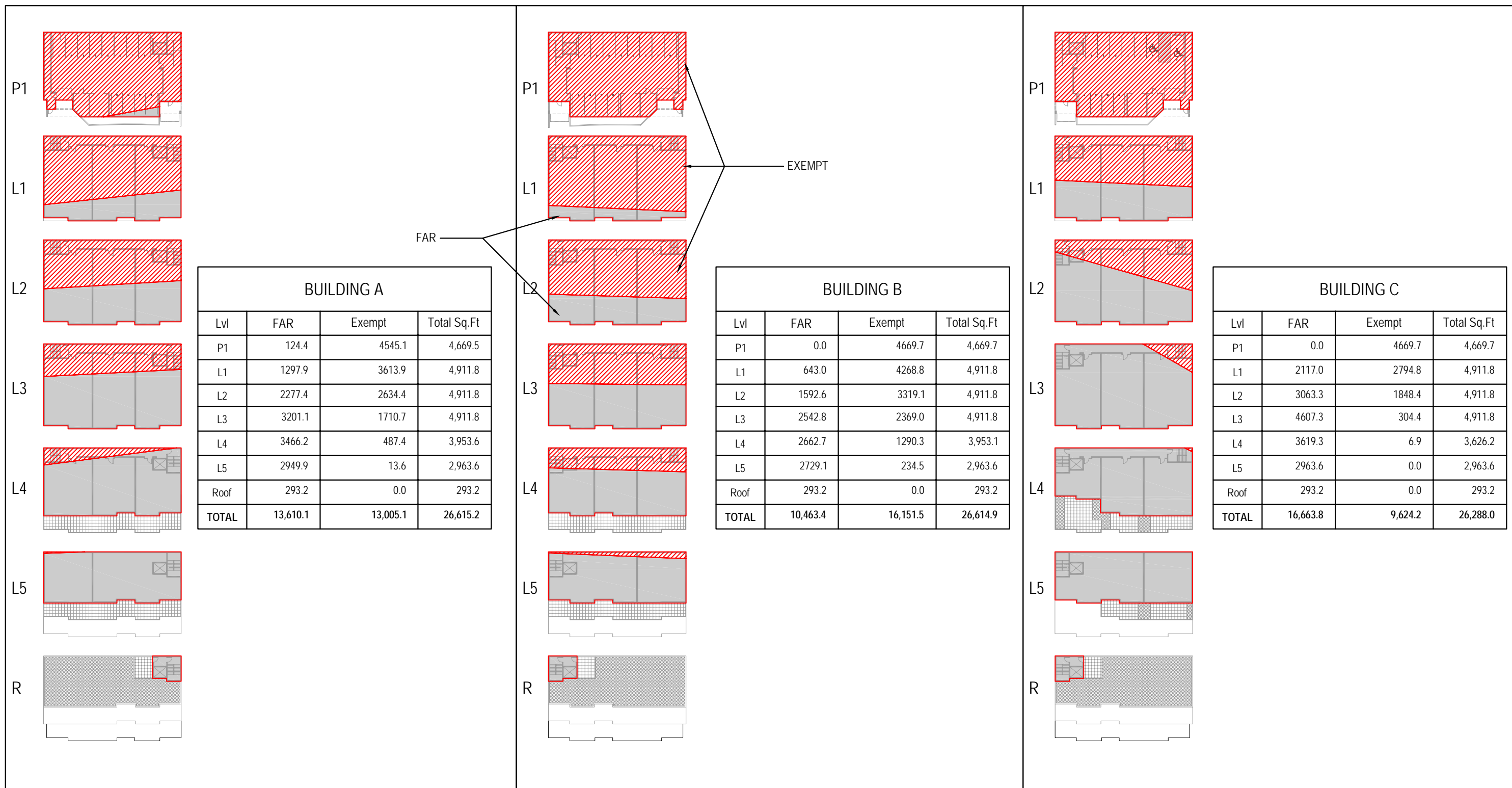


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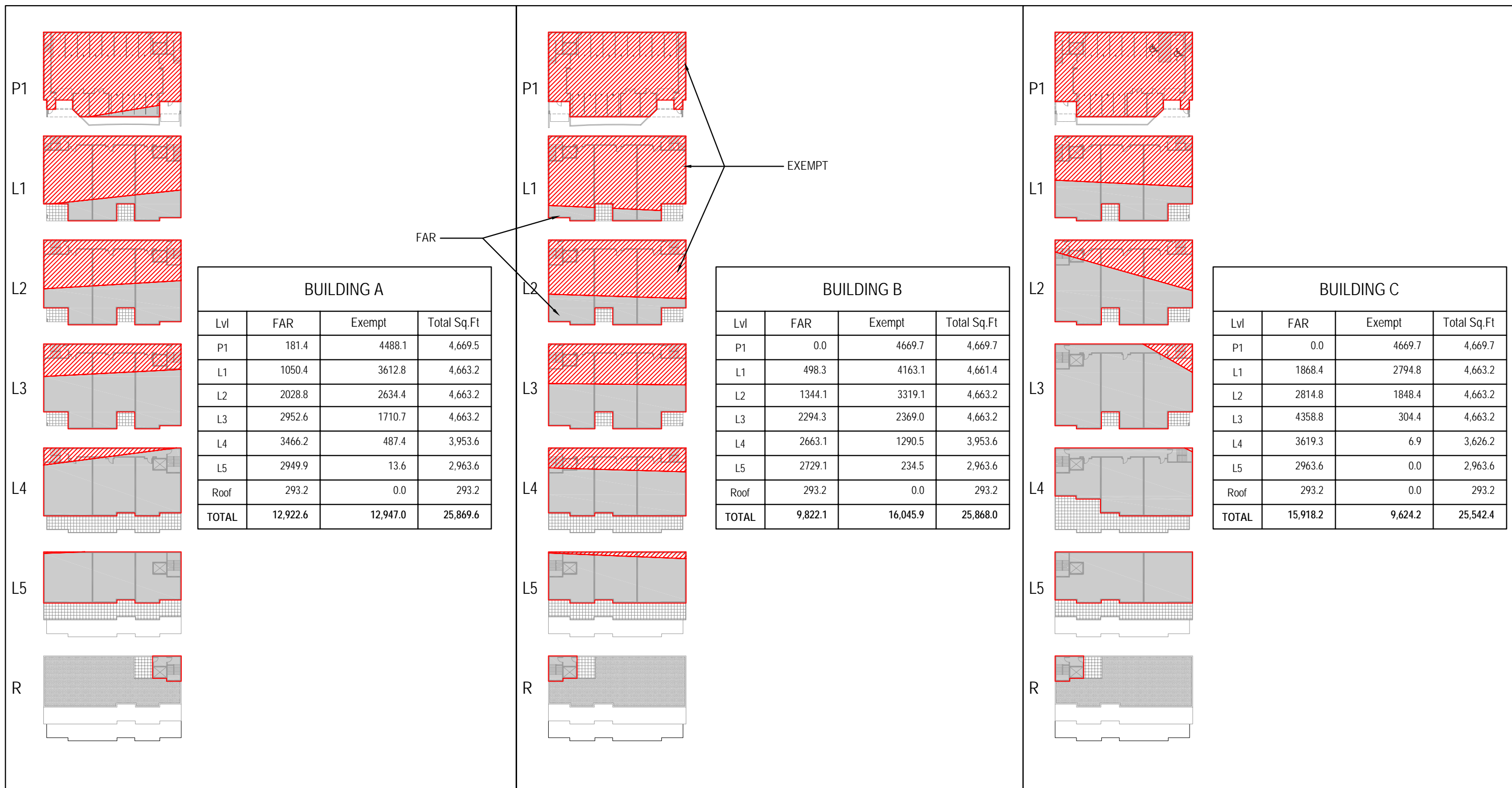
AMENITY SPACE  
ALTERNATIVES

19 OCT 2019



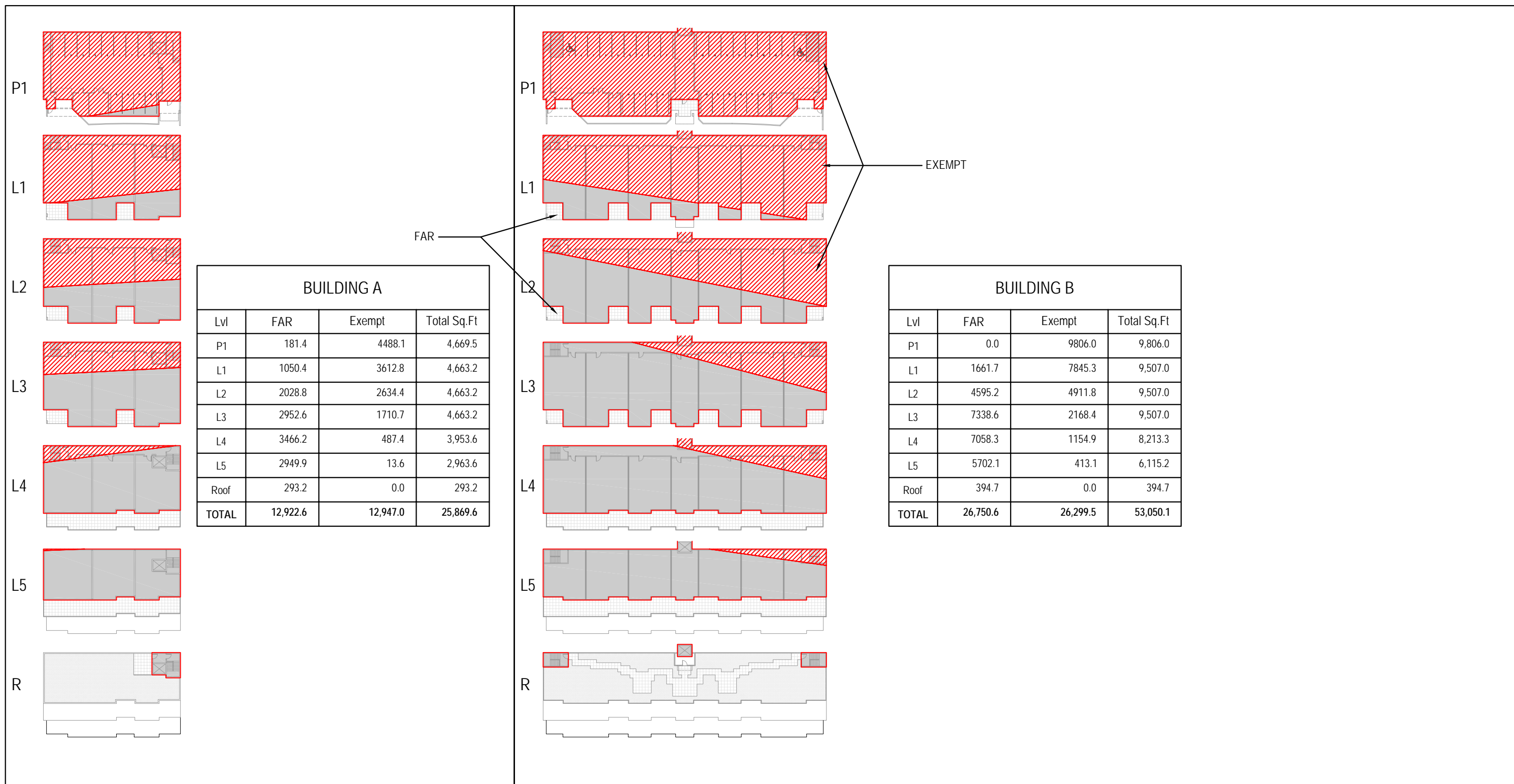
FAR TOTALS: BLDG A: 13,610.1 SF  
 BLDG B: 10,463.4 SF  
 BLDG C: 16,663.8 SF  
 TOTAL: 40,737.3 SF

TOTAL FAR PROPOSED: 40,737.3 SF  
 SITE AREA (57,568 SF) X 1.4 = 80,595.2 SF ALLOWED  
 PROPOSED EQUIVALENT IS 0.71 VERSUS 1.4 ALLOWED,  
 THEREFORE OK



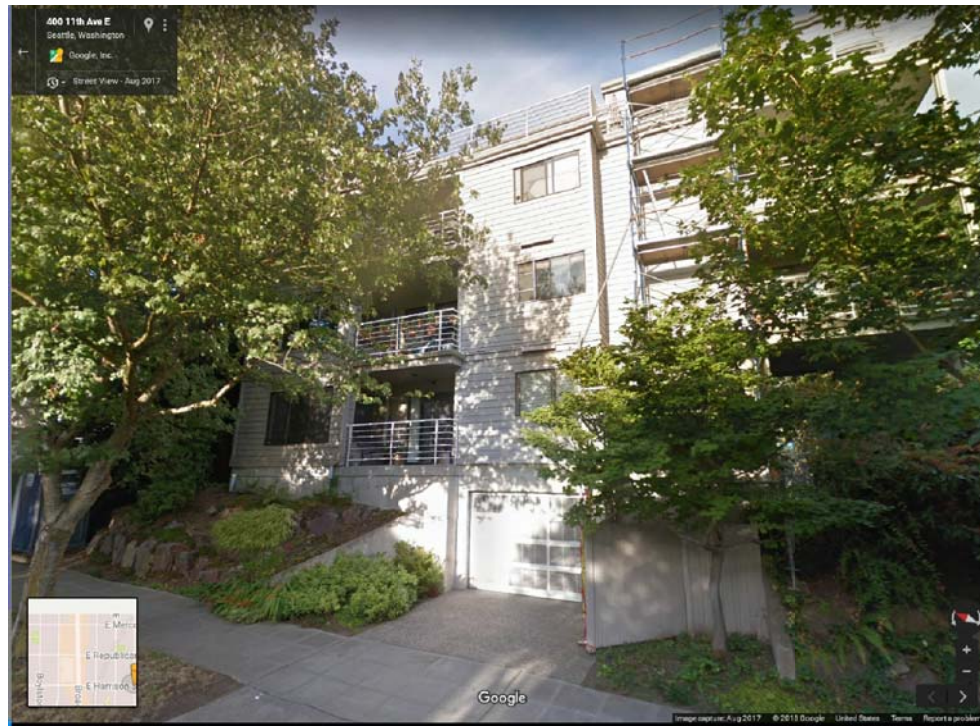
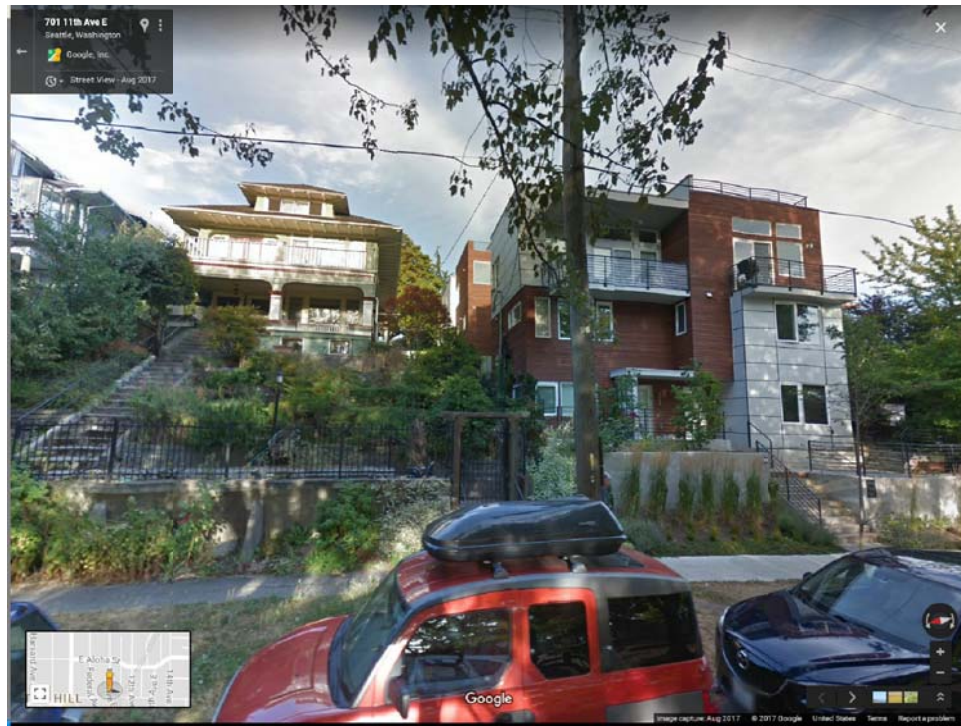
FAR TOTALS: BLDG A: 12,922.6 SF  
 BLDG B: 9,822.1 SF  
 BLDG C: 15,918.2 SF  
 TOTAL: 38,662.9 SF

TOTAL FAR PROPOSED: 38,662.9 SF  
 SITE AREA (57,742 SF) X 1.4 = 80,838.8 SF ALLOWED  
 PROPOSED EQUIVALENT IS 0.67 VERSUS 1.4 ALLOWED,  
 THEREFORE OK



FAR TOTALS: BLDG A: 12,922.6 SF  
 BLDG B: 26,750.6 SF  
 TOTAL: 39,673.2 SF

TOTAL FAR PROPOSED: 39,673.2 SF  
 SITE AREA (57,568 SF) X 1.4 = 80,595.2 SF ALLOWED  
 PROPOSED EQUIVALENT IS 0.69 VERSUS 1.4 ALLOWED,  
 THEREFORE OK



103 BELLEUVE AVENUE, SEATTLE - The Marq

This project consists of six stories, including 48 residential units and ground floor commercial. It is located at the corner of Bellevue Ave, and Denny way in downtown Seattle. The site's steep slopes and excellent view opportunities, combined with the extremely eclectic neighborhood make it a great portal to downtown. The steel edgy, industrial feel is in keeping with the more modern buildings of the area, while the mosaic bus stop offers remembrance to the social life of the site.



PEDESTRIAN FRIENDLY BUS STOP/COUCH



MAIN ENTRANCE

4301 STONEWAY N, SEATTLE - The Nobel

93 unit mixed-use project in the Wallingford district.



ROOF DECK



COMMON COURTYARD

159 DENNY WAY, SEATTLE - The Matae

This building was designed as a seven story, 78 unit, mixed use project. It is located at the corner of 2nd Ave and Denny Way in Belltown. The existing neighborhood was mainly commercial structures, but this cornerstone represented one of the "first kids on the block" in what is now a bustling urban residential area. The ground floor commercial and Live/Work Units add a great life to the busy street and the rusticated concrete and metallic finishes create an honest architectural expression with a refined and modern feel.



NORTHWEST FACADE FROM DENNY WAY



PEDESTRIAN FRIENDLY SIDEWALK

4040 26TH AVE S.W., SEATTLE - Youngstown Flats

West Seattle 193 unit mixed-use building with live/work on street level



LIVE / WORK @ STREET



MAIN ENTRY, COURTYARD & LIVE / WORK @ STREET



# 3032232-EG

1578 LAKEVIEW BLVD E  
MAP 92

